

# UNITED STATES POSTAL SERVICE

## PORT TOWNSEND, WA POST OFFICE EXTERIOR RENOVATIONS 1322 WASHINGTON ST., PORT TOWNSEND WASHINGTON

### INDEX OF DRAWINGS

AC	COVER SHEET, GENERAL NOTES, SCOPE OF WORK & VICINITY MAPS
A0.1	SITE PLAN
PH1	PHASING PLAN
A1.0	BASEMENT FLOOR PLAN & WINDOW SCHEDULE
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATION (WASHINGTON ST)
A2.1	EXTERIOR ELEVATIONS (HARRISON ST AND VAN BUREN ST)
A2.2	EXTERIOR ELEVATIONS (JEFFERSON ST)
A2.3	INTERIOR ELEVATIONS
A2.4	INTERIOR ELEVATIONS
A2.5	INTERIOR ELEVATIONS
A2.6	INTERIOR ELEVATIONS
A3.0	WINDOW DETAILS
A3.1	GUTTER DETAILS
REF01	REFERENCE PHOTOS
REF02	REFERENCE PHOTOS

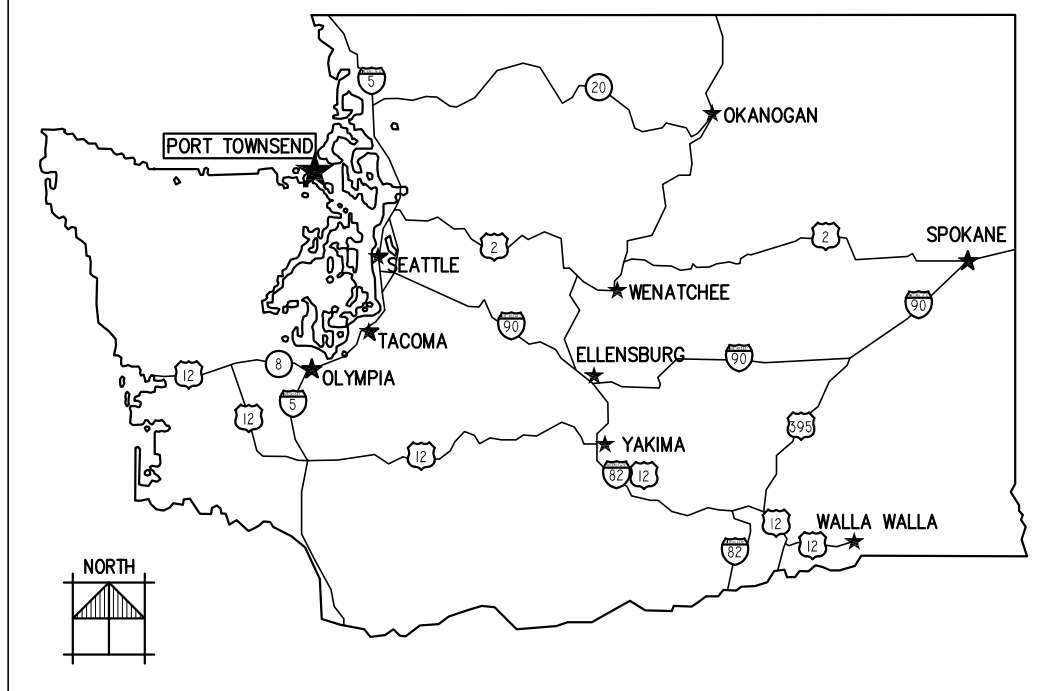
### GENERAL NOTES

- A. **DRAWINGS** - THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT OWNER TO ANY UNFORESEEN CONSTRUCTION DIFFICULTIES BEFORE BEGINNING WORK.
- B. **REPEITIVE** - TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
- C. **CODES / PERMITS / REGULATIONS** - NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH APPLICABLE CODES AND/OR REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE AND CEASE WORK. ALL PARTS PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.  
ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY THE STATE OF WASHINGTON AND ALL LOCAL JURISDICTION RULES, REGULATIONS AND AMENDMENTS.
- D. **DIMENSIONS** - ARE SHOWN TO GRID LINES AND OUTSIDE FACE OF WALL FOR ROOF PLAN OR BEAMS FOR INTERIOR PLANS.
- E. **ROUGH-IN DIMENSIONS** - THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR THE EQUIPMENT FURNISHED AND INSTALLED BY CONTRACTOR, FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR OR OTHERS.
- F. **OPENINGS** - THE CONTRACTOR SHALL CONSULT THE PLANS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUIT, CABINETS AND EQUIPMENT, AND SHALL VERIFY THE SIZES AND LOCATIONS WITH SUBCONTRACTORS.
- G. **SHOP DRAWINGS** - PROVIDE SHOP DRAWINGS FOR APPROVAL.
- H. **RESTORATION** - GENERAL CONTRACTOR SHALL RESTORE ANY EXISTING CONDITIONS AND SITE WORK DISTURBED DUE TO EXECUTION OF THIS CONTRACT.
- I. **ITEM IDENTIFICATION** - ITEMS CALLED OUT ON PLANS, ELEVATIONS, AND DETAILS NOT IDENTIFIED AS EXISTING OR (E) SHALL BE CONSIDERED NEW ITEMS AS PART OF THE WORK.
- J. **MATERIAL LOADING AND DISPOSAL ACCESS** - COORDINATE LOADING / UNLOADING AND DISPOSAL AREAS W/ ARCHITECT. ALL LOADING AND UNLOADING SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL APPLICABLE LAWS AND CODES.
- K. **PRE-CONSTRUCTION MEETING** - PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL SCHEDULE, WITH OWNER'S APPROVAL, A PRE-CONSTRUCTION MEETING WITH THE ARCHITECT AND PROJECT MANAGER AND SUB-CONTRACTORS.
- L. **TEMP WEATHER PROTECTION** - PROVIDE ALL NECESSARY WEATHER PROTECTIONS FOR THE COMPLETION OF WORK. CONTRACTOR SHALL PREVENT MOISTURE AND MOISTURE LADEN AIR FROM GETTING INTO THE BUILDING ENVELOPE BY PROVIDING ALL NECESSARY WEATHER PROTECTIONS.
- M. **NOISE CONTROL** - CONTRACTOR SHALL SCHEDULE ALL EXCESSIVE NOISE PRODUCING ACTIVITIES (SUCH AS CORE DRILLING AND CONCRETE CUTTING) FOR EARLY MORNING, EVENINGS OR WEEKEND HOURS.
- N. **ODOR CONTROL** - CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MINIMIZE IMPACT OF ODOR-CAUSING OPERATIONS ON BUILDING AIR INTAKES AND BE PROACTIVE IN ARRANGING FOR SHUT-DOWN, FILTERING, OFF-HOUR WORK OR OTHER MEANS OF CONTROL.
- O. **OCCUPANT AND PEDESTRIAN PROTECTIONS** - BUILDING WILL BE OCCUPIED DURING WORK. CONTRACTOR SHALL MAINTAIN OVERHEAD PROTECTION OUTSIDE ALL BUILDING EXITS WHERE HAZARDS EXIST. CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNAGE TO DIRECT AND WARN BUILDING OCCUPANTS, PEDESTRIANS AND WORKERS.
- P. **SITE PROTECTION** - CONTRACTOR SHALL PROVIDE ALL NECESSARY SITE PROTECTIONS INCLUDING BUT NOT LIMITED TO CONSTRUCTION FENCES, OVERHEAD PEDESTRIAN PROTECTION AND ANY NECESSARY APPURTENANCES TO PROTECT THE SITE. THIS INCLUDES ANY PERMITS FOR SIDE WALK CLOSURE AND RE-ROUTING SIGNAGE AND OR FLAG PERSONS.
- Q. **INTERIOR PROTECTIONS, DUST CONTROL AND HOUSEKEEPING**: PRIOR TO COMMENCING WITH DEMOLITION, CONTRACTOR SHALL PROVIDE PROTECTION OF INTERIOR SPACES AGAINST DUST, DEBRIS AND OVERHEAD FALLING HAZARD INCLUDING BUT NOT LIMITED TO PLYWOOD BARRIERS AND POLY SHEETING THAT PERMIT OCCUPANTS TO MAINTAIN NORMAL ACTIVITIES AS MUCH AS POSSIBLE DURING THE WORK. CONTRACTOR SHALL CLEAN ALL INTERIOR SPACES OF ANY CONSTRUCTION DEBRIS.
- R. **NON-COMPLIANT WORK**: ALL WORK FOUND TO BE NON-COMPLIANT WITH THE CONSTRUCTION DOCUMENTS SHALL BE CORRECTED AT NO COST TO THE OWNER.
- S. **COORDINATION**: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL WORK TO COMPLY WITH THE CONSTRUCTION DOCUMENTS, CODES, REGULATIONS AND TO INTERFACE CORRECTLY WITH EXISTING CONSTRUCTION.
- T. **GALVANIC REACTION**: CONTRACTOR IS RESPONSIBLE TO PROVIDE PROTECTION AGAINST GALVANIC REACTION OF DISSIMILAR METALS.
- U. **FIRE RESISTANCE**: CONTRACTOR SHALL MAINTAIN ANY AND ALL FIRE BLOCKING AND FIRE SEPARATION IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
- V. **TOILET FACILITIES**: WORKERS WILL NOT BE ALLOWED USE OF INDOOR BATHROOMS. CONTRACTOR SHALL PROVIDE ALL NECESSARY SANITATION FACILITIES FOR ITS CREW.
- W. **FLASHING**: ALL FLASHING SHALL BE .020" STAINLESS STEEL, U.N.O.
- X. **SECURITY**: CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OF HIS/HER OWN EQUIPMENT, TOOLS AND PROJECT MATERIALS. PROVIDE CONSTRUCTION FENCING AROUND ALL DESIGNATED CONTRACTOR AREAS. FENCED AREAS ARE REQUIRED TO BE LOCKABLE.
- Y. **SAFETY PLAN**: CONTRACTOR SHALL PROVIDE A SITE SPECIFIC SAFETY PLAN TO THE OWNER IN COMPLIANCE WITH ALL APPLICABLE RULES, REGULATIONS AND CODES AND MAINTAIN ON SITE AND ACCESSIBLE TO BUILDING OCCUPANT AND SUBCONTRACTOR.
- Z. **SALVAGED MATERIALS**: ALL MATERIALS INDICATED FOR SALVAGE SHALL BE REMOVED WITH CARE AS NOT TO BE DAMAGE, STORED TO PROTECT FROM WEATHER AND DAMAGE AND REINSTALLED PER CONTRACT.
- AA. **STAMPING / MARKING MATERIALS**: CONTRACTOR SHALL MARK ALL SASHES AND HARDWARE FOR EXACT LOCATION. REINSTALL SASHES AND HARDWARE IN SAME LOCATIONS.
- AB. **REPAIR AND REFURBISHMENT**: THE WORDS REPAIR AND REFURBISHMENT ARE USED INTERCHANGEABLY.
- AC. **PLASTER REMOVAL**: ALL PLASTER REMOVAL INCLUDES ALL PLASTER, LATHING AND ANY OTHER LAYERS TO EXPOSE THE STRUCTURAL CLAY TILE ON THE EXTERIOR WALL OR GWB TO EXPOSE THE FRAMING.

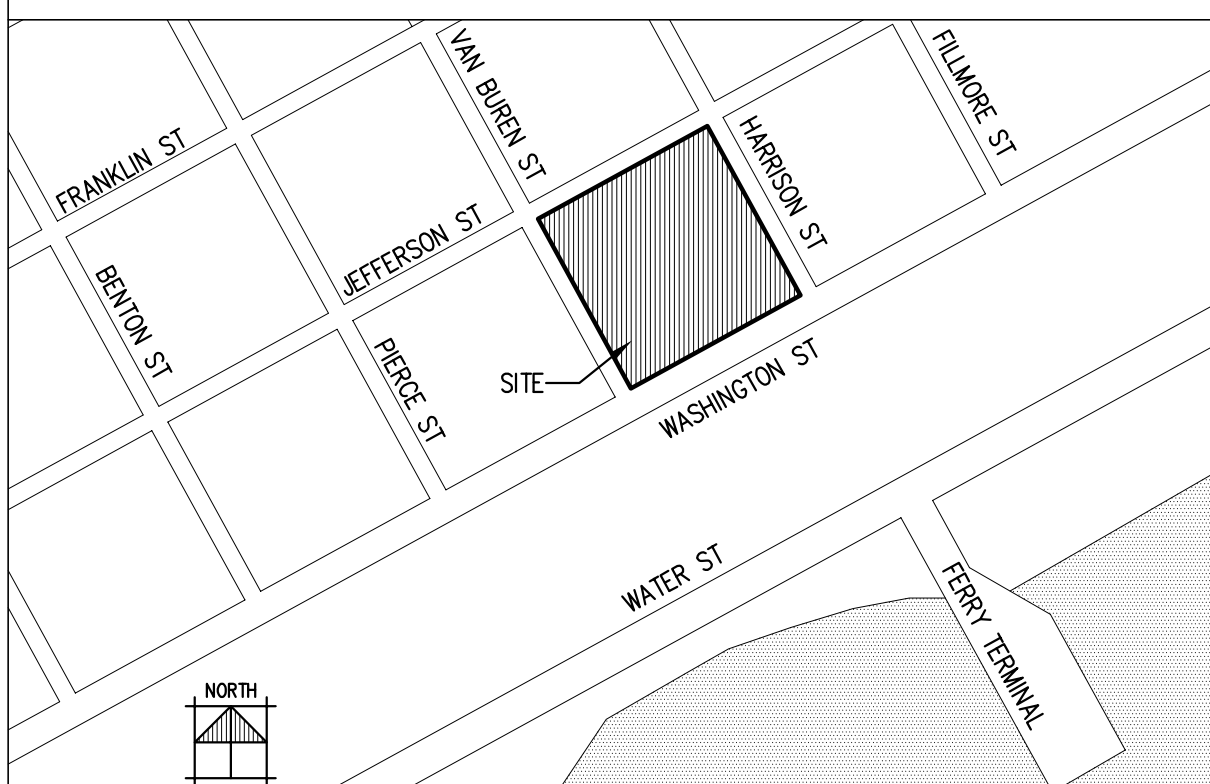
### ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ATH	AUTHORITY HAVING JURISDICTION	MTL	METAL
ARCH	ARCHITECTURAL	MN	MINIMUM
		MJ	MASONRY JOINT
BLKG	BLOCKING	NIC	NOT IN THIS CONTRACT
		NTS	NOT TO SCALE
C'FLSHG	COUNTERFLASHING		
CJ	CONTROL JOINT		
CL	CENTER LINE		
CLG	CEILING	O.C.	ON CENTER
CMU	CONCRETE BLOCK	OD	OUTSIDE DIMENSION
CONC	CONCRETE	OH	OPPOSITE HAND
CONST	CONSTRUCTION		
CONT	CONTINUOUS	PERF OR PERFOR	PERFORATED
		PLYWD	PLYWOOD
DIA	DIAMETER	PREFIN.	PREFINISHED
DIM	DIMENSION	PT	PAINT
DN	DOWN	P.T.	PRESSURE TREATED
DO	DOOR OPENING		
DTL	DETAIL	R	RISER, RADIUS
DR	DOOR	RM, RMS	ROOM, ROOMS
DS	DOWNSPOUT	RO	ROUGH OPENING
DWG	DRAWING		
EA	EACH	S.A.F.	SELF-ADHESIVE FLASHING
ELEV	ELEVATION	S.F.	SELF-ADHESIVE MEMBRANE
EJ	EXPANSION JOINT	SF	SQUARE FEET
E, EXIST.	EXISTING	SG	SAFETY GLAZING
EXT	EXTERIOR	SHPO	STATE HISTORIC PRESERVATION OFFICE
		SIM	SIMILAR
FAC	FACTORY FINISH	SPEC, SPECS	SPECIFICATIONS
FN FL	FINISH FLOOR	SS	STAINLESS STEEL
FLSHG	FLASHING	ST	STEEL
FOIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	STRUCT	STRUCTURAL
FT	FOOT	TJ	TOOLED JOINT
		TYP	TYPICAL
GA	GAUGE		
GALV	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
GL	GLASS		
GWB	GYPSON WALLBOARD	WD	WOOD
		WP	WATERPROOFING
HM	HOLLOW METAL	WRB	WEATHER RESISTIVE BARRIER
HT	HEIGHT		
INSUL	INSULATION		
INT	INTERIOR		
LOC	LOCATION		

### LOCATION MAP



### VICINITY MAP



### CONSULTANTS

<b>ARCHITECT</b>	CORNERSTONE ARCHITECTURAL GROUP 6161 NE 175TH STREET, SUITE 101 KENMORE, WA 98028 TEL: 206-682-5000 FAX: 206-621-7717 TED TOLLE, PROJECT MANAGER
<b>BUILDING ENVELOPE CONSULTANT</b>	CORNERSTONE ARCHITECTURAL GROUP 6161 NE 175TH STREET, SUITE 101 KENMORE, WA 98028 TEL: 206-682-5000 FAX: 206-621-7717 ANDRE COPPIN, ARCHITECT   BEC

### SCOPE OF WORK

1. ALL WORK TO COMPLY WITH SHPO AND THESE CONTRACT DOCUMENTS.
2. PROVIDE ALL SCAFFOLDING AND PROTECTION OF GROUNDS AND ADJACENT SURFACES. PROVIDE COVERS AT EXISTING ENTRY LOCATIONS TO PROTECT THE PUBLIC FROM THE WORK.
3. CLEAN THE EXTERIOR OF THE BUILDING AND ADJACENT STAIRS, STAIR WALLS, BRICK PIERS, ETC. THE INTENT IS TO COMPLETELY CLEAN THE EXTERIOR OF THE BUILDING INCLUDING STAIR WALLS AND RETAINING WALLS IN WINDOW WELLS.
4. REMOVE EXISTING WOOD WINDOW SASHES COMPLETE AND PROVIDE TEMPORARY PROTECTION OF INTERIOR FROM INCLEMENT WEATHER.
5. ABATE ALL PAINT FROM EXTERIOR WINDOW FRAMES AND SASHES.
6. REPAIR ALL FRAMING AND SASHES TO MATCH EXISTING.
7. PAINT EXTERIOR OF WINDOW FRAMES AND SASHES TO MATCH EXISTING.
8. REPLACE EXTERIOR SEALANT AT ALL EXISTING WINDOW & DOOR FRAMES.
9. ALL GLAZING TO BE REUSED. REPLACE ALL BROKEN GLAZING WITH NEW GLAZING TO MATCH EXISTING.
10. PROVIDE REPAIR OF SANDSTONE IN FIELD, QUIONS, SILLS, CORNICES AND HEAD STONES AT WINDOWS. REPAIR MUST BE THE SAME COLOR AND TEXTURE TO AVOID A "PATCHY" LOOK.
11. TUCK-POINT EXISTING SANDSTONE MASONRY MORTAR JOINTS.
12. APPLY WATER REPELLANT TO ALL SANDSTONE. THIS INCLUDES STAIR WALLS AND RETAINING WALLS IN WINDOW WELLS.
13. REMOVE AND REINSTALL FLAG POLES. PREP AND PAINT.
14. CLEAN INTERIOR WINDOW TRIM, SAND SILLS AND DETERIORATED TRIM TO REMOVE EXISTING FINISH AND MAKE READY TO RECEIVE NEW FINISH. REPLACE DAMAGED SILL PIECES, AS INDICATED, SEE INTERIOR ELEVATIONS FOR MORE INFORMATION.
15. REMOVE WATER DAMAGED PLASTER AT WALLS AND CEILINGS ADJACENT TO LEAKING WINDOWS OR OTHER LEAKS AS INDICATED, REPAIR AREAS AS REQUIRED. REPAIR REPAIRED WALLS FROM INSIDE CORNER TO CORNER. THIS SCOPE OF WORK INCLUDES REPAINTING THE INTERIOR WALLS REQUIRING REPAIR ONLY.
16. GUTTERS: REMOVE EXISTING GUTTER & COATING, PROVIDE NEW COPPER GUTTER.
17. REPLACE 4 EXTERIOR LIGHT FIXTURES AND REMOVE OR REMOVE AND REINSTALL MISCELLANEOUS WIRING AS SHOWN ON DRAWINGS.

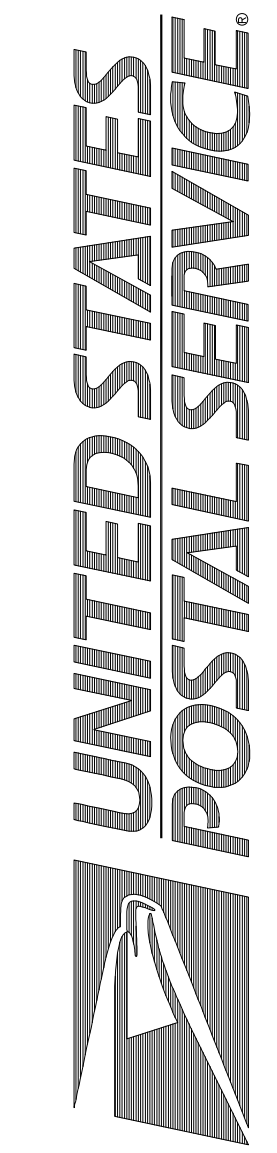
### REFERENCE SYMBOLS

	DETAIL NO. SHEET NO		WALL SECTION REFERENCE
	DETAIL REFERENCE THROUGH WALL		ELEVATION REFERENCE
	DETAIL REFERENCE AT BASE OF WALL		FLAG NOTE
	BUILDING SECTION REFERENCE		FLAG NOTE INDICATING QUANTITY
			DIRECTION OF SLOPE

## 100% SUBMITTAL



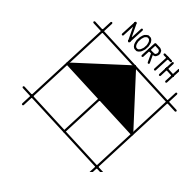
PORT TOWNSEND POST OFFICE  
EXTERIOR & WINDOW REPAIRS  
PORT TOWNSEND, WASHINGTON



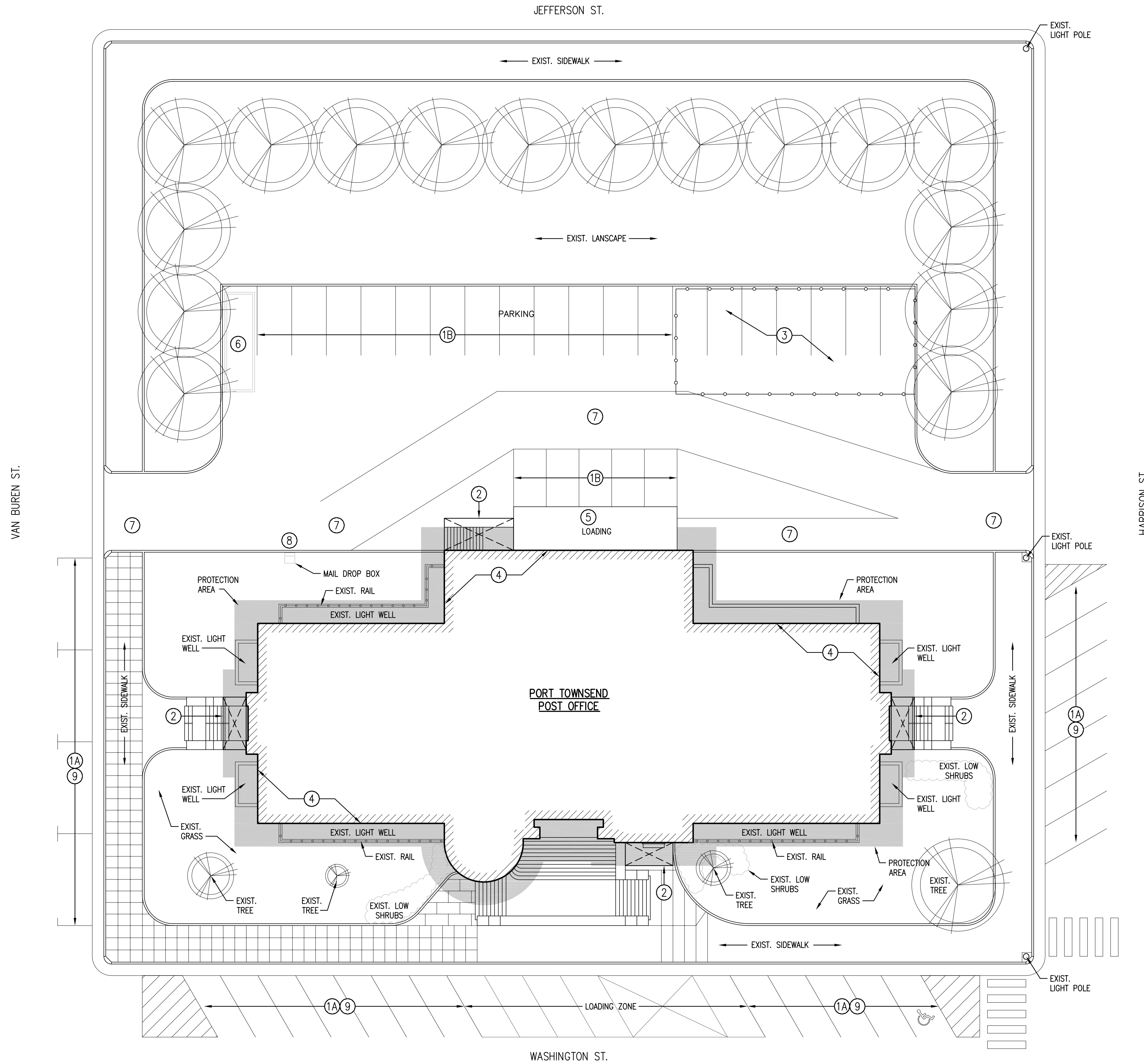
AC COVER SHEET, GENERAL NOTES, SCOPE OF WORK & VICINITY MAPS  
Scale: NTS  
Project: 282007  
USPS File Number: ---  
Date: 06/10/2022  
Revisions: ---  
3954 REGISTERED ARCHITECT  
STEVEN A. BARNES  
STATE OF WASHINGTON

Facilities: 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861

Copyright 2006-2009, United States Postal Service



# SITE PLAN



## SITE NOTES

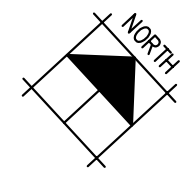
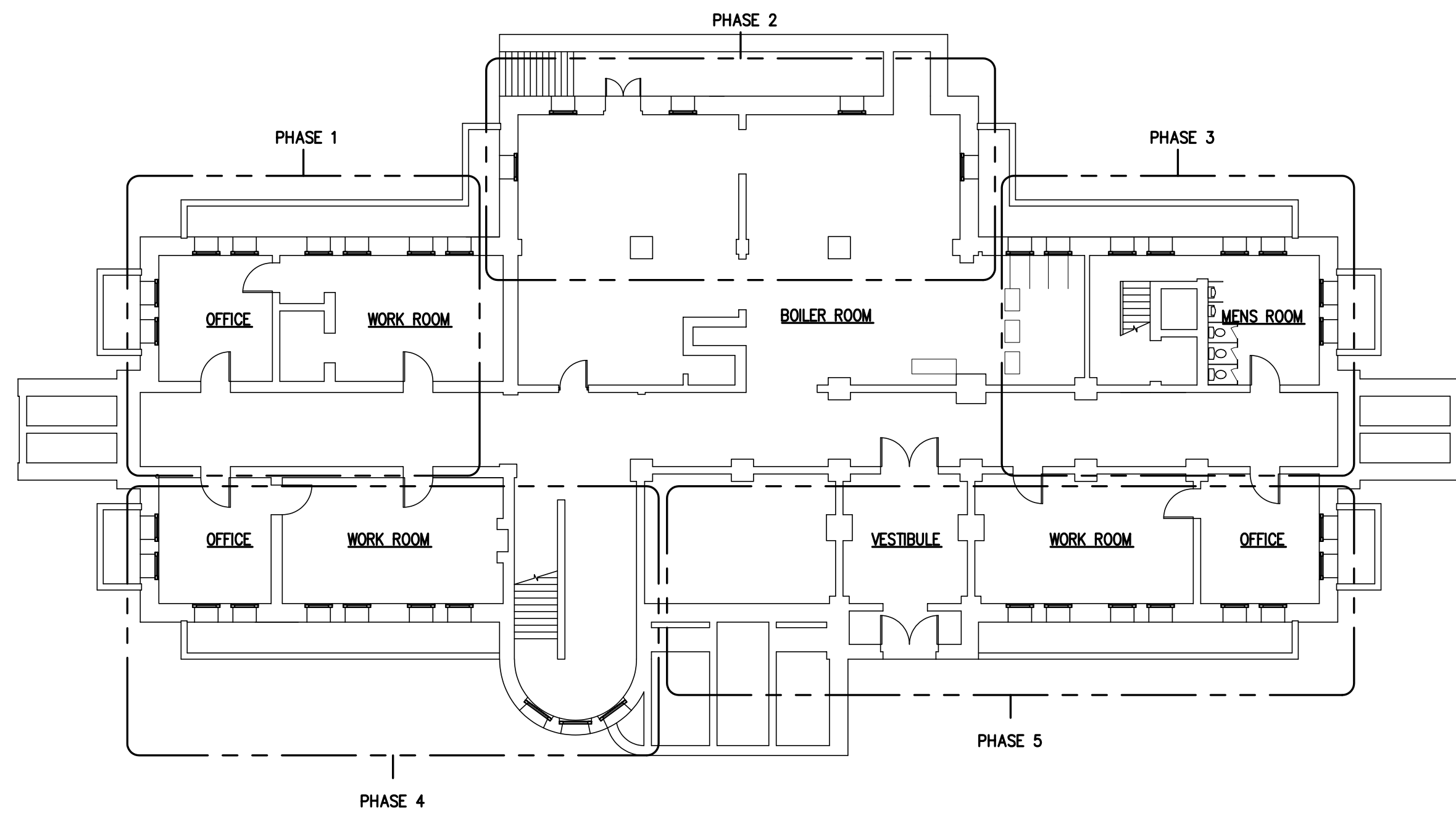
- 1A RESERVED STREET PARKING. NO CONTRACTOR PARKING.
- 1B RESERVED PARKING. NO CONTRACTOR PARKING.
- 2 MAINTAIN EXITS & WALKWAYS. PROVIDE SIGNAGE & OVERHEAD PROTECTION.
- 3 CONTRACTOR LAY DOWN AREA.
- 4 BUILDING FOOT PRINT.
- 5 EXISTING LOADING. DO NOT BLOCK.
- 6 DUMPSTER. DO NOT BLOCK.
- 7 CONTRACTOR SHALL MAINTAIN ACCESS DURING CONSTRUCTION. DO NOT BLOCK.
- 8 PROVIDE CLEAR ACCESS AT ALL TIMES TO DROP BOX MAILBOXES.
- 9 CONTRACTOR SHALL ONLY BLOCK OFF 50% OF ALL PARKING SPOTS AT ANY ONE FACADE AT A TIME.

## GENERAL SITE NOTES

1. CONTRACTOR SHALL HAVE A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON REVIEW ALL MATERIAL LOADING PLANS FOR COMPLIANCE WITH LOAD LIMITS GIVEN. STRUCTURAL ENGINEER SHALL SIGN MATERIAL LOADING PLANS. CONTRACTOR SHALL STORE MATERIAL ONLY IN DESIGNATED AREAS.
2. CONTRACTOR SHALL PLACE TRAILER & TOILET FACILITIES IN LAY DOWN AREA. USE OF OWNER'S FACILITIES IS NOT PERMITTED.
3. CONTRACTOR SHALL PROVIDE TEMPORARY OVERHEAD PROTECTION AT ALL ENTRIES IN IMMEDIATE AREA OF WORK.
4. CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION INCLUDING BUT NOT LIMITED TO CORDONING OFF OF SIDEWALKS AND WALKWAYS WHEN OVERHEAD WORK IS BEING PERFORMED. CONTRACTOR SHALL SECURE AT HIS OWN EXPENSE ALL NECESSARY PERMITS FOR SIDEWALK CLOSURES AND WORK IN THE RIGHT-OF-WAY
5. CONTRACTOR SHALL SECURE ALL TOOLS & EQUIPMENT WHEN NOT IN USE.

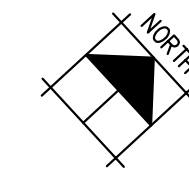
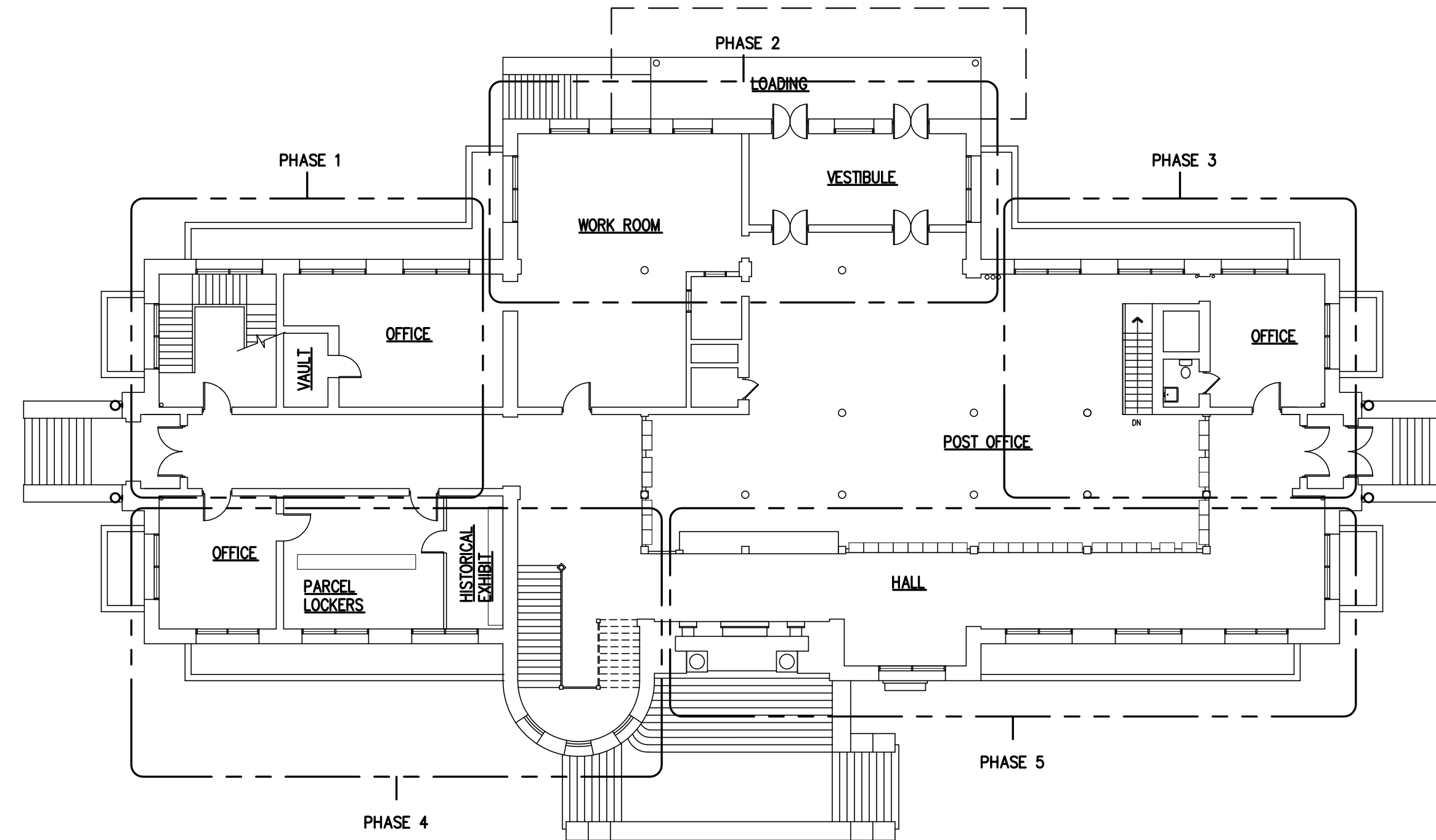
## LEGEND

- CONSTRUCTION FENCE 6'-0" HIGH MINIMUM
- PROTECTION AREA. CONTRACTOR SHALL BE ALLOWED TO SET UP SCAFFOLDING IN THE AREA WITH ALL MEASURES FOR SECURITY.



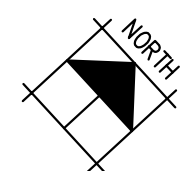
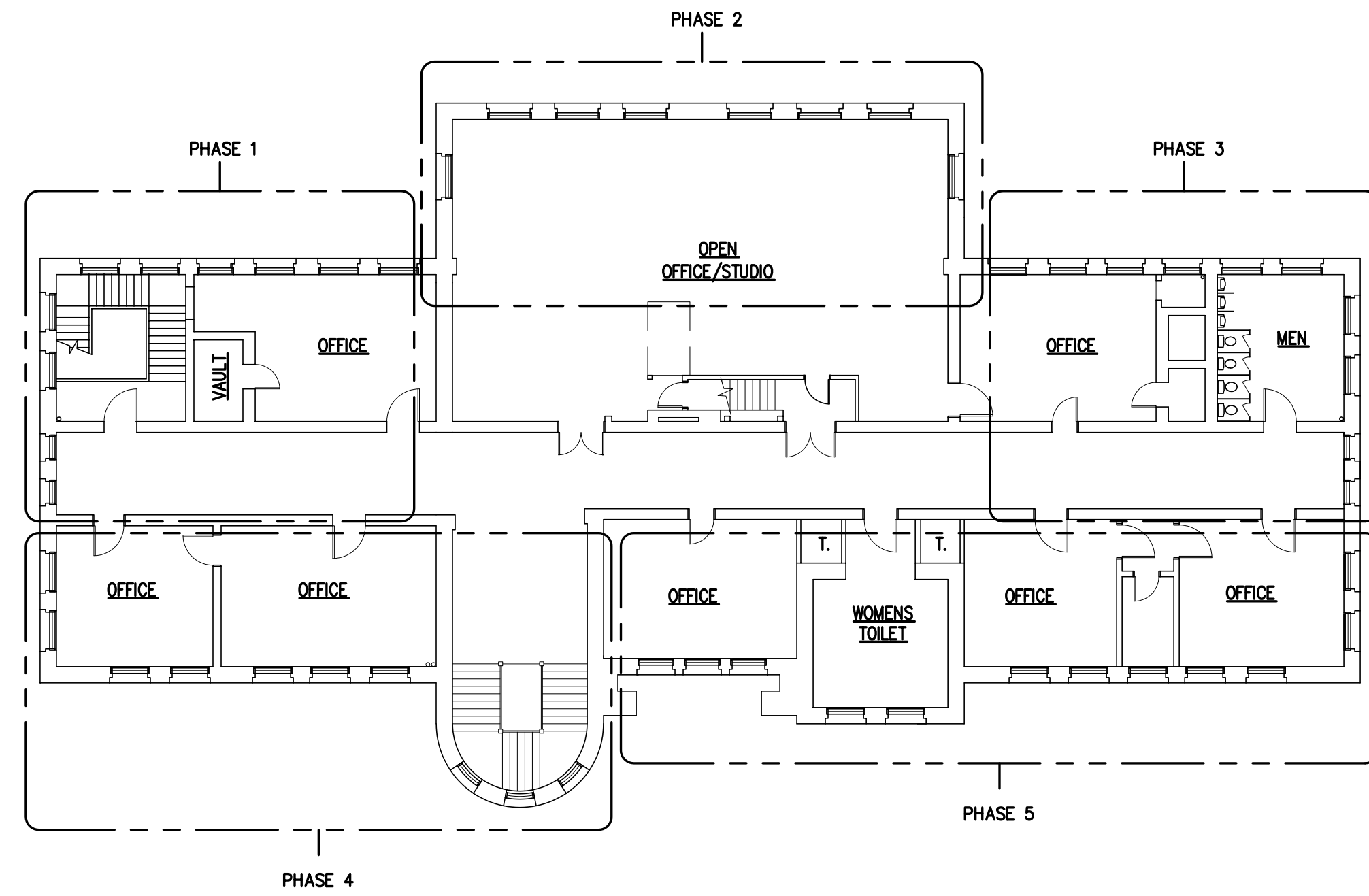
**BASEMENT FLOOR PLAN**

SCALE: 1/16" = 1'-0"



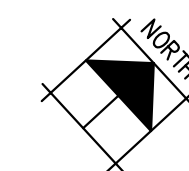
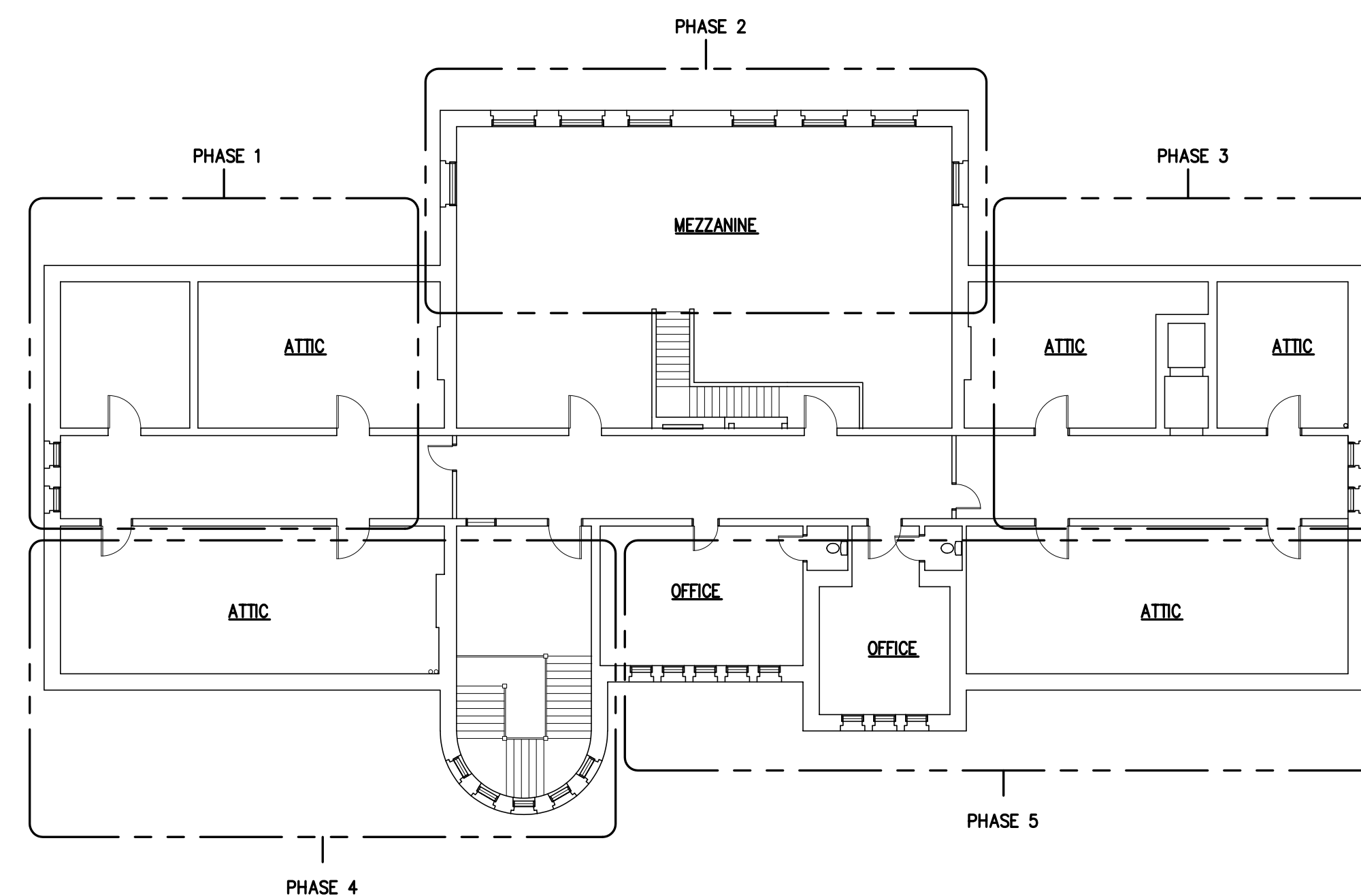
**FIRST FLOOR PLAN**

SCALE: 1/16" = 1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/16" = 1'-0"



**THIRD FLOOR PLAN**

SCALE: 1/16" = 1'-0"

**GENERAL PHASING NOTES:**

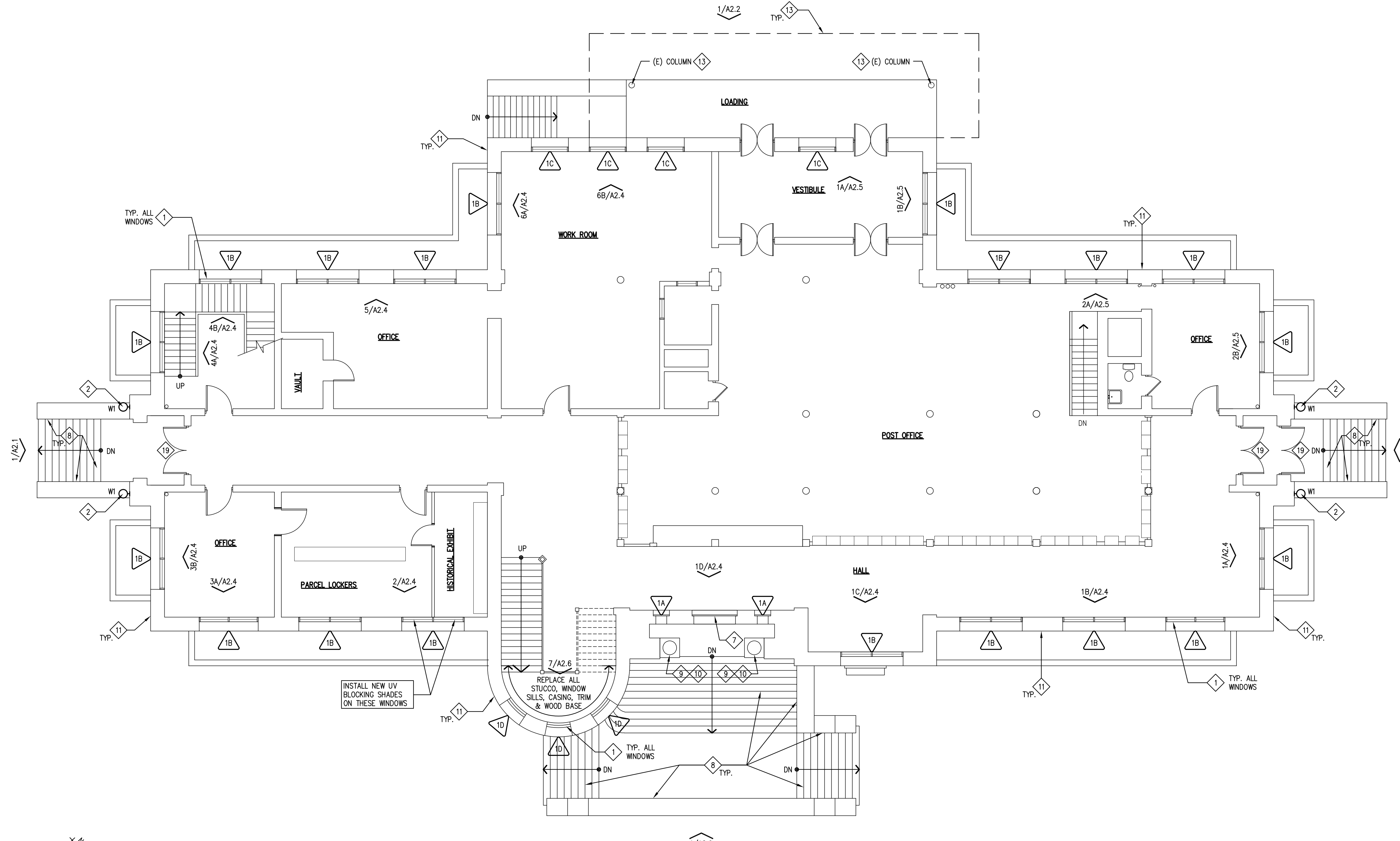
MAINTAIN BUILDING ACCESS AND CORRIDOR CIRCULATION THROUGHOUT CONSTRUCTION DURING ALL PHASES.

CONSTRUCTION OF TEMPORARY ENCLOSURES WILL BE ONGOING THROUGHOUT PROJECT, TO KEEP WEATHER OUT OF THE BUILDING AND PROVIDE OVERHEAD PROTECTIONS FOR USERS. PROVIDE OVERHEAD PROTECTION IN ALL AREAS WHERE WORK WILL BE TAKING PLACE ABOVE BUILDING OCCUPANTS.

**PHASING NOTES:**

1. PHASING WILL OCCUR VERTICALLY AS SHOWN WITH THE THREE FLOORS BEING WORKED AT THE SAME TIME TO ALLOW FOR SCAFFOLDING, AS NECESSARY, TO BE SET UP AND STONE REPAIR WORK OCCURRING IN THESE AREAS WHILE THE WINDOWS ARE IN THE SHOP BEING REBUILT.
2. PROVIDE TEMPORARY WINDOWS THAT PROVIDE LIGHT IN THE SPACES. THIS COULD BE A TIMBER FRAME WITH REINFORCED PLASTIC THAT CAN WITHSTAND HIGH WINDS AND WIND DRIVEN RAIN.
3. JAMB AND TRIM REPAIR WORK WILL BE GOING ON INSIDE THE BUILDING FOR EACH PHASE.
4. PHASE LENGTHS (WITH THE EXCEPTION OF PHASE 4) WITHIN 4 WEEKS DEPENDING ON WEATHER AND AVAILABILITY OF MATERIALS.
5. PHASE 4 WILL TAKE 8 WEEKS TO WORK AROUND THE CENTER ROUND WINDOW AREAS.
6. WORK IN LIGHT WELLS IN THE BASEMENT CAN OCCUR AT ANY TIME.
7. DO NOT ATTACH ANYTHING TO THE SANDSTONE AS IT MAY CAUSE INCREASE DETERIORATION AND DAMAGE.
8. PAINTING EXTERIOR DOORS AND JAMBS CAN OCCUR AT ANY TIME AS LONG AS ACCESS TO THE BUILDING IS MAINTAINED. WE SUGGEST REPAIRING ONE LEAF AT A TIME AT THE DOUBLE DOORS.





**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. SEE SCOPE OF WORK NOTES ON SHEET AC.
2. ABATE EXISTING ASSUMED LEAD PAINT AT ALL WINDOWS.
3. REMOVE, REPAIR, AND REINSTALL EXISTING SASHES. PAINT TO MATCH EXISTING COLOR. SEE INTERIOR ELEVATIONS FOR FINISH TYPE, STAIN OR PAINT.
4. REPAIR FRAMES IN PLACE. REMOVE HARDWARE, REPAIR AND LUBRICATE AS REQUIRED SO THAT ALL THE WINDOWS WILL OPERATE.
5. SEE INTERIOR ELEVATIONS FOR WINDOW SILLS AND INTERIOR TRIM THAT NEEDS TO BE REPAIRED OR REPLACED. APPLY FINISHES FOR ALL NEW WORK TO MATCH EXISTING.
6. REINSTALL OR REPLACE GLAZING. ALL GLAZING TO BE REUSED. REPLACE ALL BROKEN GLAZING WITH NEW GLAZING TO MATCH EXISTING. ALLOWANCE FOR NEW GLAZING = 100 SF.
7. PROVIDE WINDOW SASH GASKETS AT ALL MOVING SASHES TO CREATE WATER AND AIR SEALING.
8. PROVIDE REPLACEMENT OF SILL FLASHINGS AT SILLS.
9. REMOVE (E) PERIMETER SEALANT BETWEEN WINDOW FRAMES AND SANDSTONE. INSTALL NEW SEALANT PER THE CONTRACT REQUIREMENTS.
10. SEE INTERIOR ELEVATIONS FOR EXTENT OF PLASTER REPAIR ON INTERIOR WALLS.
11. SEE EXTERIOR ELEVATIONS FOR EXTENT OF REPAIRS TO SANDSTONE.

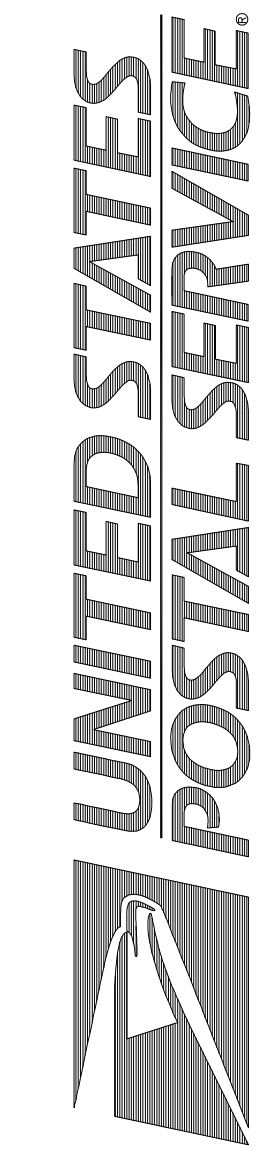
**FLAG NOTES**

- NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET.
- 1 PROVIDE REPAIR AT ALL WINDOWS. ABATE LEAD PAINT FROM ALL WINDOWS ACCORDING TO GOVERNING AHJ. REMOVE SASHES AND PROVIDE TEMPORARY WEATHER PROTECTION. REPAIR SASHES AND FRAMES AS DETAILED AND SPECIFIED ACCORDING TO SHPO STANDARDS. PROVIDE NEW COPPER SASH PANS TO MATCH EXISTING. REPAIR ALL INTERNAL PARTS OF THE WINDOWS TO PROVIDE FUNCTIONING WINDOWS AS INTENDED.
  - 2 CONTRACTOR SHALL INSPECT AND SOUND ALL QUINS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE QUINS, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 3 CONTRACTOR SHALL INSPECT AND SOUND ALL SILLS AND HEAD STONES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 4 CONTRACTOR SHALL INSPECT AND SOUND ALL ENTABLATURES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE ENTABLATURE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 5 CONTRACTOR SHALL INSPECT AND SOUND ALL CORNICES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CORNICES, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 6 INSPECT ALL MORTAR JOINTS AND REPOINT TO MATCH EXISTING. ALLOWANCE FOR REPAIR = 3,000 LF.
  - 7 ABATE EXISTING PAINT FROM FAUX DOOR AND TRANSOM AT THIS AREA. REPLACE GLAZING COMPOUND AND PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
  - 8 CLEAN EXISTING STAIRS AND STAIR WALLS. SOUND THE SANDSTONE AND PROVIDE FORTIFICATION AND REPAIR TO MATCH EXISTING.
  - 9 CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN CAPITALS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CAPITALS COMPLETE TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR. CONTRACTOR CAN EXPLORE OPTIONS TO REPLACE AND INCLUDE IN BID.
  - 10 CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN BASES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE BASES TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR.
  - 11 CONTRACTOR SHALL INSPECT AND SOUND ALL RUSTICATED SANDSTONE CLADDING (THIS MAKES UP THE MAJORITY OF THE CLADDING), AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 3,000 SF.
  - 12 CONTRACTOR SHALL REMOVE ALL EXISTING COPPER GUTTERS AND PROVIDE NEW SOLDERED COPPER GUTTERS TO MATCH EXISTING. THIS INCLUDES THE COPPER COPING. ALL JOINTS AND DRAINS MAKE WATERTIGHT.
  - 13 PREP, PRIME AND PAINT THE EXISTING STRUCTURE AND UNDER DECK OF THE LOADING DOCK ROOF. ABATE THE PAINT PER AHJ.
  - 14 PREP, PRIME AND PAINT THE COLUMNS. PROVIDE WOOD REPAIR AS REQUIRED. ABATE THE PAINT PER THE AHJ.
  - 15 REPOINT THE EXISTING CHIMNEY AND PROVIDE NEW MORTAR CAPS TO MATCH EXISTING.
  - 16 REMOVE & REINSTALL THE EXISTING FLAG POLE. PREP, PRIME AND PAINT. PROVIDE NEW HARDWARE TO MATCH EXISTING.
  - 17 PROVIDE ALL WORK OF THE CONTRACT AT THIS WINDOW AND QUINS AND RUSTICATED SANDSTONE AND CORNICE FOR REVIEW BY ARCHITECT FOR CONFORMANCE TO THE CONTRACT AND SHPO GUIDELINES FOR PRESERVING HISTORIC BUILDINGS.
  - 18 INSPECT ALL DRAINS AND PROVIDE REPAIR TO ALL SOLDERED JOINTS TO MAKE WATER TIGHT. REPLACE ALL DRAIN SCREENS TO MATCH EXISTING.
  - 19 ABATE EXISTING PAINT FROM DOORS. PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
  - 20 REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW. REUSE EXISTING CIRCUITING AND WIRING.

**A1.1** FIRST FLOOR PLAN  
 Scale: 1/8" = 1'-0" Date: 06/10/2022  
 Project: 282007  
 USFS File Number: ---

3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
 STEVEN A. BARNES  
 STATE OF WASHINGTON

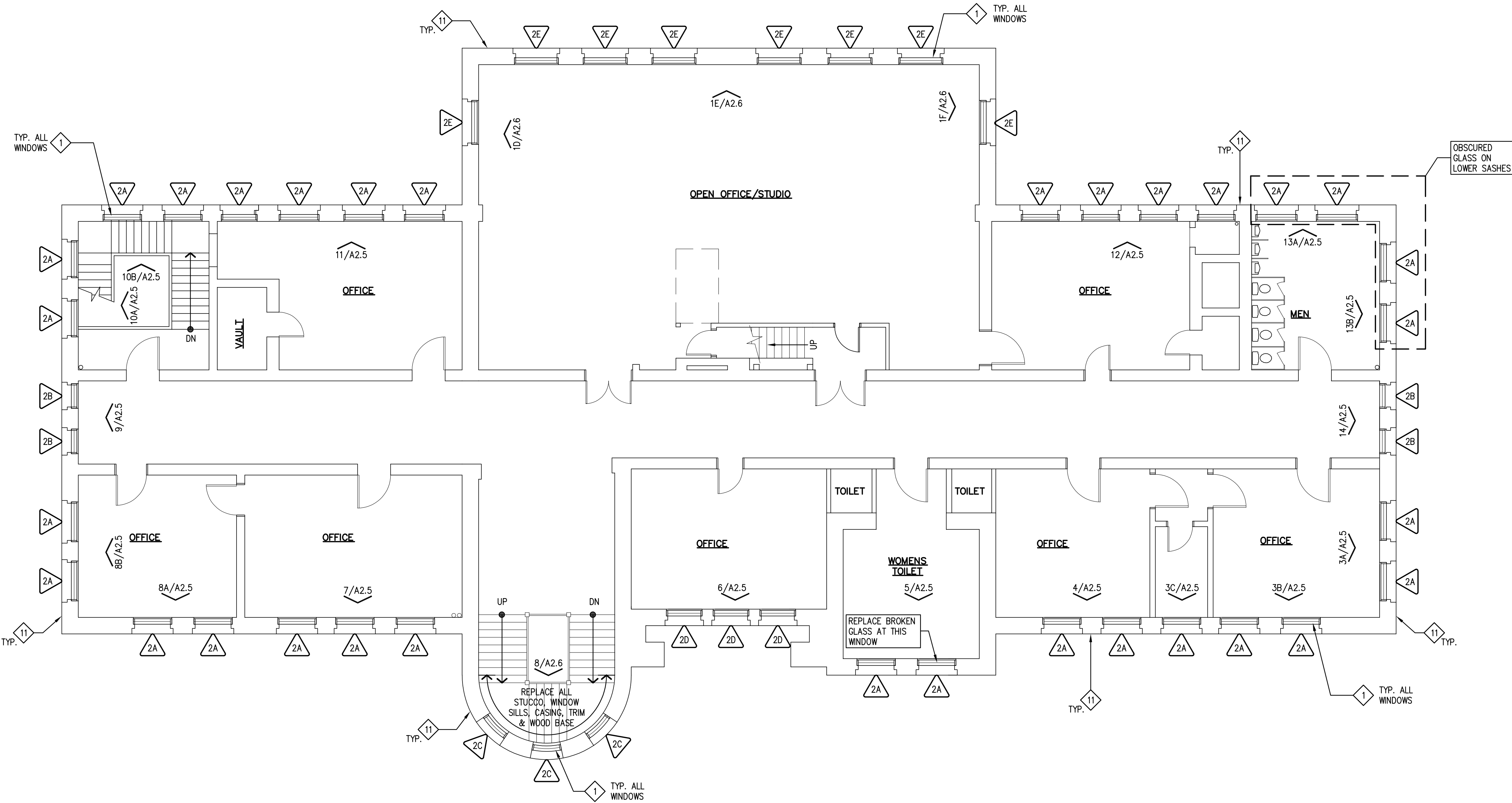
PORT TOWNSEND POST OFFICE  
 EXTERIOR & WINDOW REPAIRS  
 PORT TOWNSEND, WASHINGTON



Facilities, 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861

Copyright: 2006-2009, United States Postal Service

**Cornerstone**  
 ARCHITECTURAL GROUP  
 6161 NE 175th Street, Suite 101  
 Kenmore, Washington 98028  
 Phone: 206.882.5000  
 cornerstonearch.com



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

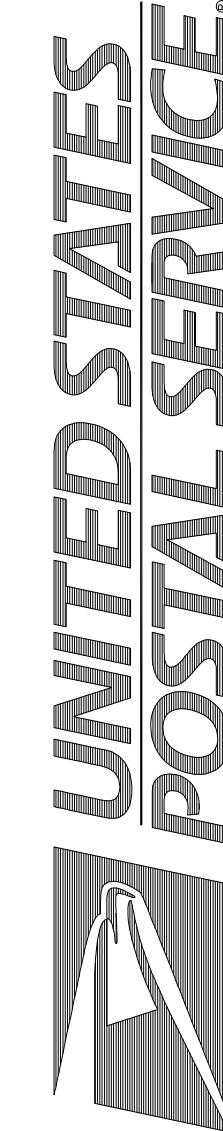
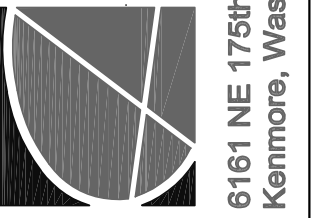
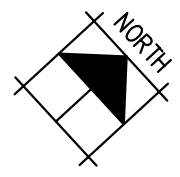
GENERAL NOTES

1. SEE SCOPE OF WORK NOTES ON SHEET AC.
2. ABATE EXISTING ASSUMED LEAD PAINT AT ALL WINDOWS.
3. REMOVE, REPAIR, AND REINSTALL EXISTING SASHES. PAINT TO MATCH EXISTING COLOR. SEE INTERIOR ELEVATIONS FOR FINISH TYPE, STAIN OR PAINT.
4. REPAIR FRAMES IN PLACE. REMOVE HARDWARE, REPAIR AND LUBRICATE AS REQUIRED SO THAT ALL THE WINDOWS WILL OPERATE.
5. SEE INTERIOR ELEVATIONS FOR WINDOW SILLS AND INTERIOR TRIM THAT NEEDS TO BE REPAIRED OR REPLACED. APPLY FINISHES FOR ALL NEW WORK TO MATCH EXISTING.
6. REINSTALL OR REPLACE GLAZING. ALL GLAZING TO BE REUSED. REPLACE ALL BROKEN GLAZING WITH NEW GLAZING TO MATCH EXISTING. ALLOWANCE FOR NEW GLAZING = 100 SF.
7. PROVIDE WINDOW SASH GASKETS AT ALL MOVING SASHES TO CREATE WATER AND AIR SEALING.
8. PROVIDE REPLACEMENT OF SILL FLASHINGS AT SILLS.
9. REMOVE (E) PERIMETER SEALANT BETWEEN WINDOW FRAMES AND SANDSTONE. INSTALL NEW SEALANT PER THE CONTRACT REQUIREMENTS.
10. SEE INTERIOR ELEVATIONS FOR EXTENT OF PLASTER REPAIR ON INTERIOR WALLS.
11. SEE EXTERIOR ELEVATIONS FOR EXTENT OF REPAIRS TO SANDSTONE.

FLAG NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET.

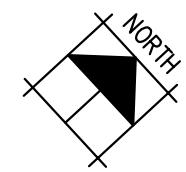
1. PROVIDE REPAIR AT ALL WINDOWS. ABATE LEAD PAINT FROM ALL WINDOWS ACCORDING TO GOVERNING AHJ. REMOVE SASHES AND PROVIDE TEMPORARY WEATHER PROTECTION. REPAIR SASHES AND FRAMES AS DETAILED AND SPECIFIED ACCORDING TO SHPO STANDARDS. PROVIDE NEW COPPER SASH PANS TO MATCH EXISTING. REPAIR ALL INTERNAL PARTS OF THE WINDOWS TO PROVIDE FUNCTIONING WINDOWS AS INTENDED.
2. CONTRACTOR SHALL INSPECT AND SOUND ALL QUIONS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE QUIONS, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
3. CONTRACTOR SHALL INSPECT AND SOUND ALL SILLS AND HEAD STONES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
4. CONTRACTOR SHALL INSPECT AND SOUND ALL ENTABLATURES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE ENTABLATURE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
5. CONTRACTOR SHALL INSPECT AND SOUND ALL CORNICES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CORNICES, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
6. INSPECT ALL MORTAR JOINTS AND REPOINT TO MATCH EXISTING. ALLOWANCE FOR REPAIR = 3,000 LF.
7. ABATE EXISTING PAINT FROM FAUX DOOR AND TRANSOM AT THIS AREA. REPLACE GLAZING COMPOUND AND PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
8. CLEAN EXISTING STAIRS AND STAIR WALLS. SOUND THE SANDSTONE AND PROVIDE FORTIFICATION AND REPAIR TO MATCH EXISTING.
9. CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN CAPITALS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CAPITALS COMPLETE TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR. CONTRACTOR CAN EXPLORE OPTIONS TO REPLACE AND INCLUDE IN BID.
10. CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN BASES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE BASES TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR.
11. CONTRACTOR SHALL INSPECT AND SOUND ALL RUSTICATED SANDSTONE CLADDING (THIS MAKES UP THE MAJORITY OF THE CLADDING), AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 3,000 SF.
12. CONTRACTOR SHALL REMOVE ALL EXISTING COPPER GUTTERS AND PROVIDE NEW SOLDERED COPPER GUTTERS TO MATCH EXISTING. THIS INCLUDES THE COPPER COPING. ALL JOINTS AND DRAINS MAKE WATERTIGHT.
13. PREP, PRIME AND PAINT THE EXISTING STRUCTURE AND UNDER DECK OF THE LOADING DOCK ROOF. ABATE THE PAINT PER AHJ.
14. PREP, PRIME AND PAINT THE COLUMNS. PROVIDE WOOD REPAIR AS REQUIRED. ABATE THE PAINT PER THE AHJ.
15. REPOINT THE EXISTING CHIMNEY AND PROVIDE NEW MORTAR CAPS TO MATCH EXISTING.
16. REMOVE & REINSTALL THE EXISTING FLAG POLE. PREP, PRIME AND PAINT. PROVIDE NEW HARDWARE TO MATCH EXISTING.
17. PROVIDE ALL WORK OF THE CONTRACT AT THIS THIS WINDOW AND QUIONS AND RUSTICATED SANDSTONE AND CORNICE FOR REVIEW BY ARCHITECT FOR CONFORMANCE TO THE CONTRACT AND SHPO GUIDELINES FOR PRESERVING HISTORIC BUILDINGS.
18. INSPECT ALL DRAINS AND PROVIDE REPAIR TO ALL SOLDERED JOINTS TO MAKE WATER TIGHT. REPLACE ALL DRAIN SCREENS TO MATCH EXISTING.
19. ABATE EXISTING PAINT FROM DOORS. PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
20. REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW. REUSE EXISTING CIRCUITING AND WIRING.



Revisions:

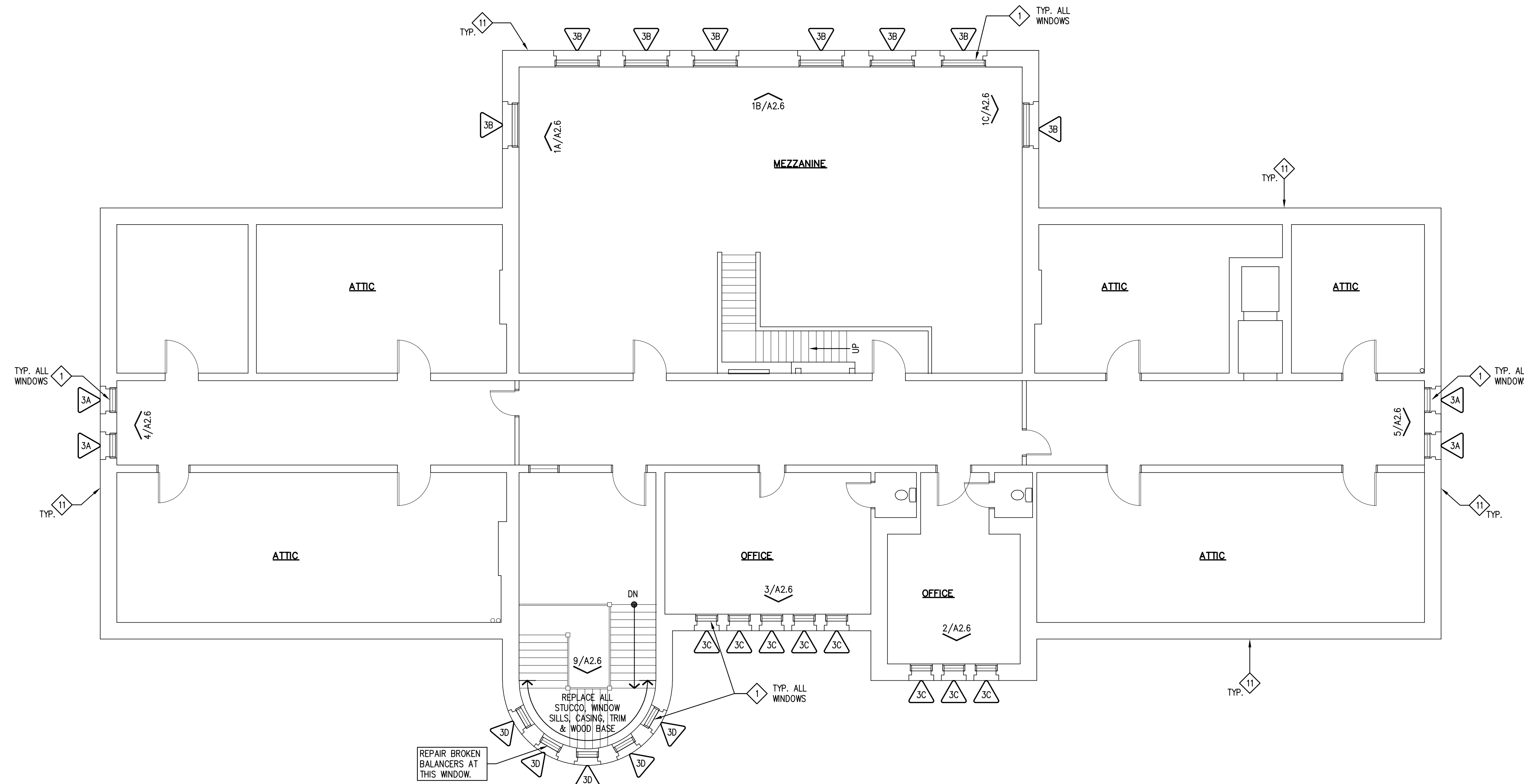
A1.2 SECOND FLOOR PLAN  
 Scale: 1/8" = 1'-0" Date: 06/10/2022  
 Project: 282007  
 USPS File Number: ---

3954 REGISTERED ARCHITECT  
 STEVEN A. BARNES  
 STATE OF WASHINGTON



### THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



### GENERAL NOTES

1. SEE SCOPE OF WORK NOTES ON SHEET AC.
2. ABATE EXISTING ASSUMED LEAD PAINT AT ALL WINDOWS.
3. REMOVE, REPAIR, AND REINSTALL EXISTING SASHES. PAINT TO MATCH EXISTING COLOR. SEE INTERIOR ELEVATIONS FOR FINISH TYPE, STAIN OR PAINT.
4. REPAIR FRAMES IN PLACE. REMOVE HARDWARE, REPAIR AND LUBRICATE AS REQUIRED SO THAT ALL THE WINDOWS WILL OPERATE.
5. SEE INTERIOR ELEVATIONS FOR WINDOW SILLS AND INTERIOR TRIM THAT NEEDS TO BE REPAIRED OR REPLACED. APPLY FINISHES FOR ALL NEW WORK TO MATCH EXISTING.
6. REINSTALL OR REPLACE GLAZING. ALL GLAZING TO BE REUSED. REPLACE ALL BROKEN GLAZING WITH NEW GLAZING TO MATCH EXISTING. ALLOWANCE FOR NEW GLAZING = 100 SF.
7. PROVIDE WINDOW SASH GASKETS AT ALL MOVING SASHES TO CREATE WATER AND AIR SEALING.
8. PROVIDE REPLACEMENT OF SILL FLASHINGS AT SILLS.
9. REMOVE (C) PERIMETER SEALANT BETWEEN WINDOW FRAMES AND SANDSTONE. INSTALL NEW SEALANT PER THE CONTRACT REQUIREMENTS.
10. SEE INTERIOR ELEVATIONS FOR EXTENT OF PLASTER REPAIR ON INTERIOR WALLS.
11. SEE EXTERIOR ELEVATIONS FOR EXTENT OF REPAIRS TO SANDSTONE.

### FLAG NOTES

- NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET.
1. PROVIDE REPAIR AT ALL WINDOWS. ABATE LEAD PAINT FROM ALL WINDOWS ACCORDING TO GOVERNING AHJ. REMOVE SASHES AND PROVIDE TEMPORARY WEATHER PROTECTION. REPAIR SASHES AND FRAMES AS DETAILED AND SPECIFIED ACCORDING TO SHPO STANDARDS. PROVIDE NEW COPPER SASH PAINS TO MATCH EXISTING. REPAIR ALL INTERNAL PARTS OF THE WINDOWS TO PROVIDE FUNCTIONING WINDOWS AS INTENDED.
  2. CONTRACTOR SHALL INSPECT AND SOUND ALL QUINS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE QUINS, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  3. CONTRACTOR SHALL INSPECT AND SOUND ALL SILLS AND HEAD STONES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  4. CONTRACTOR SHALL INSPECT AND SOUND ALL ENTABLATURES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE ENTABLATURE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  5. CONTRACTOR SHALL INSPECT AND SOUND ALL CORNICES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CORNICES, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  6. INSPECT ALL MORTAR JOINTS AND REPOINT TO MATCH EXISTING. ALLOWANCE FOR REPAIR = 3,000 LF.
  7. ABATE EXISTING PAINT FROM FAUX DOOR AND TRANSOM AT THIS AREA. REPLACE GLAZING COMPOUND AND PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
  8. CLEAN EXISTING STAIRS AND STAIR WALLS. SOUND THE SANDSTONE AND PROVIDE FORTIFICATION AND REPAIR TO MATCH EXISTING.
  9. CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN CAPITALS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CAPITALS COMPLETE TO MATCH EXISTING. FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR. CONTRACTOR CAN EXPLORE OPTIONS TO REPLACE AND INCLUDE IN BID.
  10. CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN BASES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE BASES TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR.
  11. CONTRACTOR SHALL INSPECT AND SOUND ALL RUSTICATED SANDSTONE CLADDING (THIS MAKES UP THE MAJORITY OF THE CLADDING), AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 3,000 SF.
  12. CONTRACTOR SHALL REMOVE ALL EXISTING COPPER GUTTERS AND PROVIDE NEW SOLDERED COPPER GUTTERS TO MATCH EXISTING. THIS INCLUDES THE COPPER COPING. ALL JOINTS AND DRAINS MAKE WATERTIGHT.
  13. PREP, PRIME AND PAINT THE EXISTING STRUCTURE AND UNDER DECK OF THE LOADING DOCK ROOF. ABATE THE PAINT PER AHJ.
  14. PREP, PRIME AND PAINT THE COLUMNS. PROVIDE WOOD REPAIR AS REQUIRED. ABATE THE PAINT PER THE AHJ.
  15. REPOINT THE EXISTING CHIMNEY AND PROVIDE NEW MORTAR CAPS TO MATCH EXISTING.
  16. REMOVE & REINSTALL THE EXISTING FLAG POLE. PREP, PRIME AND PAINT. PROVIDE NEW HARDWARE TO MATCH EXISTING.
  17. PROVIDE ALL WORK OF THE CONTRACT AT THIS WINDOW AND QUINS AND RUSTICATED SANDSTONE AND CORNICE FOR REVIEW BY ARCHITECT FOR CONFORMANCE TO THE CONTRACT AND SHPO GUIDELINES FOR PRESERVING HISTORIC BUILDINGS.
  18. INSPECT ALL DRAINS AND PROVIDE REPAIR TO ALL SOLDERED JOINTS TO MAKE WATER TIGHT. REPLACE ALL DRAIN SCREENS TO MATCH EXISTING.
  19. ABATE EXISTING PAINT FROM DOORS. PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
  20. REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW. REUSE EXISTING CIRCUITING AND WIRING.

**A1.3** THIRD FLOOR PLAN  
 Scale: 1/8" = 1'-0" Date: 06/10/2022  
 Project: 282007  
 USFS File Number: --

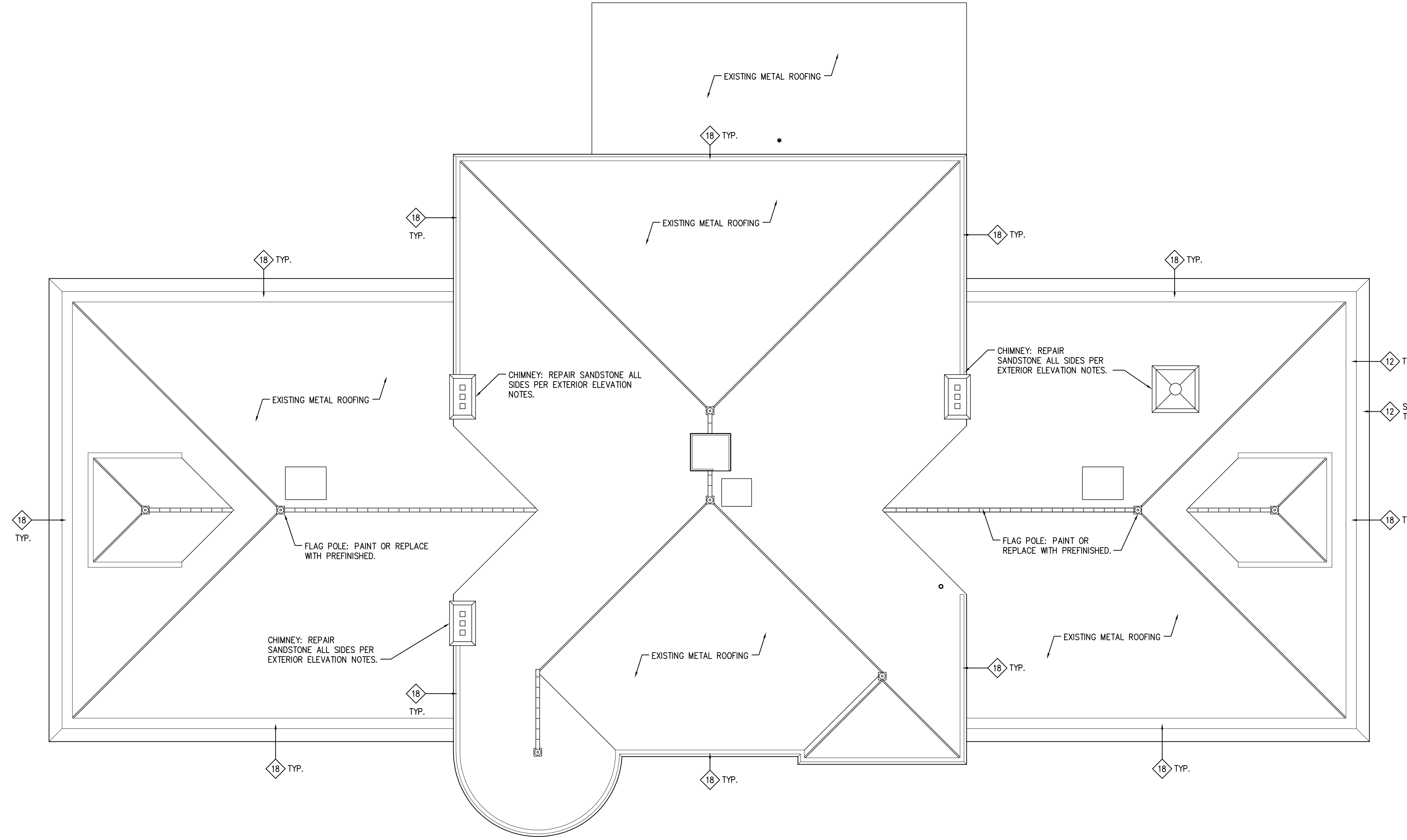
3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
 STEVEN A. BARNES  
 STATE OF WASHINGTON

UNITED STATES POSTAL SERVICE  
 PORT TOWNSEND POST OFFICE  
 EXTERIOR & WINDOW REPAIRS  
 PORT TOWNSEND, WASHINGTON

Cornerstone ARCHITECTURAL GROUP  
 6161 NE 175th Street, Suite 101  
 Kenmore, Washington 98028  
 Phone: 206.882.5000  
 cornerstonearch.com

Copyright: 2006-2009, United States Postal Service

Facilities, 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861



**ROOF PLAN**

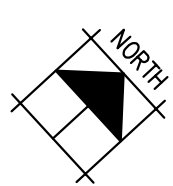
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. SEE SCOPE OF WORK NOTES ON SHEET AC.
2. ABATE EXISTING ASSUMED LEAD PAINT AT ALL WINDOWS.
3. REMOVE, REPAIR, AND REINSTALL EXISTING SASHES. PAINT TO MATCH EXISTING COLOR. SEE INTERIOR ELEVATIONS FOR FINISH TYPE, STAIN OR PAINT.
4. REPAIR FRAMES IN PLACE. REMOVE HARDWARE, REPAIR AND LUBRICATE AS REQUIRED SO THAT ALL THE WINDOWS WILL OPERATE.
5. SEE INTERIOR ELEVATIONS FOR WINDOW SILLS AND INTERIOR TRIM THAT NEEDS TO BE REPAIRED OR REPLACED. APPLY FINISHES FOR ALL NEW WORK TO MATCH EXISTING.
6. REINSTALL OR REPLACE GLAZING. ALL GLAZING TO BE REUSED. REPLACE ALL BROKEN GLAZING WITH NEW GLAZING TO MATCH EXISTING. ALLOWANCE FOR NEW GLAZING = 100 SF.
7. PROVIDE WINDOW SASH GASKETS AT ALL MOVING SASHES TO CREATE WATER AND AIR SEALING.
8. PROVIDE REPLACEMENT OF SILL FLASHINGS AT SILLS.
9. REMOVE (E) PERIMETER SEALANT BETWEEN WINDOW FRAMES AND SANDSTONE. INSTALL NEW SEALANT PER THE CONTRACT REQUIREMENTS.
10. SEE INTERIOR ELEVATIONS FOR EXTENT OF PLASTER REPAIR ON INTERIOR WALLS.
11. SEE EXTERIOR ELEVATIONS FOR EXTENT OF REPAIRS TO SANDSTONE.

**FLAG NOTES**

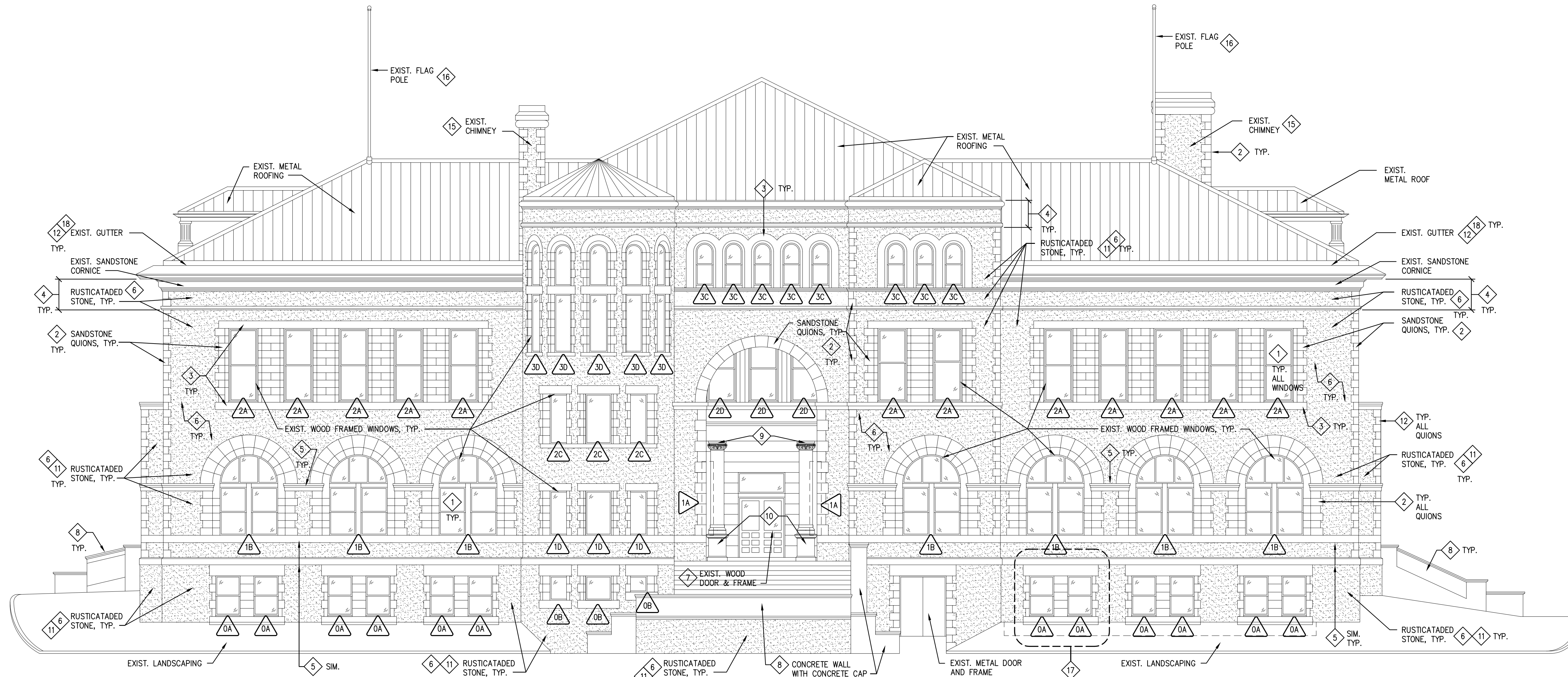
- NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET.
- 1 PROVIDE REPAIR AT ALL WINDOWS. ABATE LEAD PAINT FROM ALL WINDOWS ACCORDING TO GOVERNING AHJ. REMOVE SASHES AND PROVIDE TEMPORARY WEATHER PROTECTION. REPAIR SASHES AND FRAMES AS DETAILED AND SPECIFIED ACCORDING TO SHPO STANDARDS. PROVIDE NEW COPPER SASH PAINS TO MATCH EXISTING. REPAIR ALL INTERNAL PARTS OF THE WINDOWS TO PROVIDE FUNCTIONING WINDOWS AS INTENDED.
  - 2 CONTRACTOR SHALL INSPECT AND SOUND ALL QUIONS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE QUIONS, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 3 CONTRACTOR SHALL INSPECT AND SOUND ALL SILLS AND HEAD STONES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 4 CONTRACTOR SHALL INSPECT AND SOUND ALL ENTABLATURES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE ENTABLATURE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 5 CONTRACTOR SHALL INSPECT AND SOUND ALL CORNICES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CORNICES, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 1,000 SF.
  - 6 INSPECT ALL MORTAR JOINTS AND REPOINT TO MATCH EXISTING. ALLOWANCE FOR REPAIR = 3,000 LF.
  - 7 ABATE EXISTING PAINT FROM FAUX DOOR AND TRANSOM AT THIS AREA. REPLACE GLAZING COMPOUND AND PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
  - 8 CLEAN EXISTING STAIRS AND STAIR WALLS. SOUND THE SANDSTONE AND PROVIDE FORTIFICATION AND REPAIR TO MATCH EXISTING.
  - 9 CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN CAPITALS, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE CAPITALS COMPLETE TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR. CONTRACTOR CAN EXPLORE OPTIONS TO REPLACE AND INCLUDE IN BID.
  - 10 CONTRACTOR SHALL INSPECT AND SOUND THE COLUMN BASES, AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE BASES TO MATCH EXISTING, FORTIFY AND REPAIR TO MATCH EXISTING DESIGN, TEXTURE AND COLOR.
  - 11 CONTRACTOR SHALL INSPECT AND SOUND ALL RUSTICATED SANDSTONE CLADDING (THIS MAKES UP THE MAJORITY OF THE CLADDING), AND REMOVE LOOSE AND CLEAVING FRAGMENTS. REPAIR SANDSTONE, FORTIFY AND REPAIR TO MATCH EXISTING TEXTURE AND COLOR. ALLOWANCE FOR REPAIR = 3,000 SF.
  - 12 CONTRACTOR SHALL REMOVE ALL EXISTING COPPER GUTTERS AND PROVIDE NEW SOLDERED COPPER GUTTERS TO MATCH EXISTING. THIS INCLUDES THE COPPER COPING. ALL JOINTS AND DRAINS MAKE WATERTIGHT.
  - 13 PREP, PRIME AND PAINT THE EXISTING STRUCTURE AND UNDER DECK OF THE LOADING DOCK ROOF. ABATE THE PAINT PER AHJ.
  - 14 PREP, PRIME AND PAINT THE COLUMNS. PROVIDE WOOD REPAIR AS REQUIRED. ABATE THE PAINT PER THE AHJ.
  - 15 REPOINT THE EXISTING CHIMNEY AND PROVIDE NEW MORTAR CAPS TO MATCH EXISTING.
  - 16 REMOVE & REINSTALL THE EXISTING FLAG POLE. PREP, PRIME AND PAINT. PROVIDE NEW HARDWARE TO MATCH EXISTING.
  - 17 PROVIDE ALL WORK OF THE CONTRACT AT THIS THIS WINDOW AND QUIONS AND RUSTICATED SANDSTONE AND CORNICE FOR REVIEW BY ARCHITECT FOR CONFORMANCE TO THE CONTRACT AND SHPO GUIDELINES FOR PRESERVING HISTORIC BUILDINGS.
  - 18 INSPECT ALL DRAINS AND PROVIDE REPAIR TO ALL SOLDERED JOINTS TO MAKE WATER TIGHT. REPLACE ALL DRAIN SCREENS TO MATCH EXISTING.
  - 19 ABATE EXISTING PAINT FROM DOORS. PREPARE, PRIME AND PAINT DOOR TO MATCH THE EXISTING COLOR.
  - 20 REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW. REUSE EXISTING CIRCUITING AND WIRING.



3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
STEVEN A. BARNES  
STATE OF WASHINGTON



NOTE:  
SEE SHEET A1.0 FOR ELEVATION NOTE TAGS

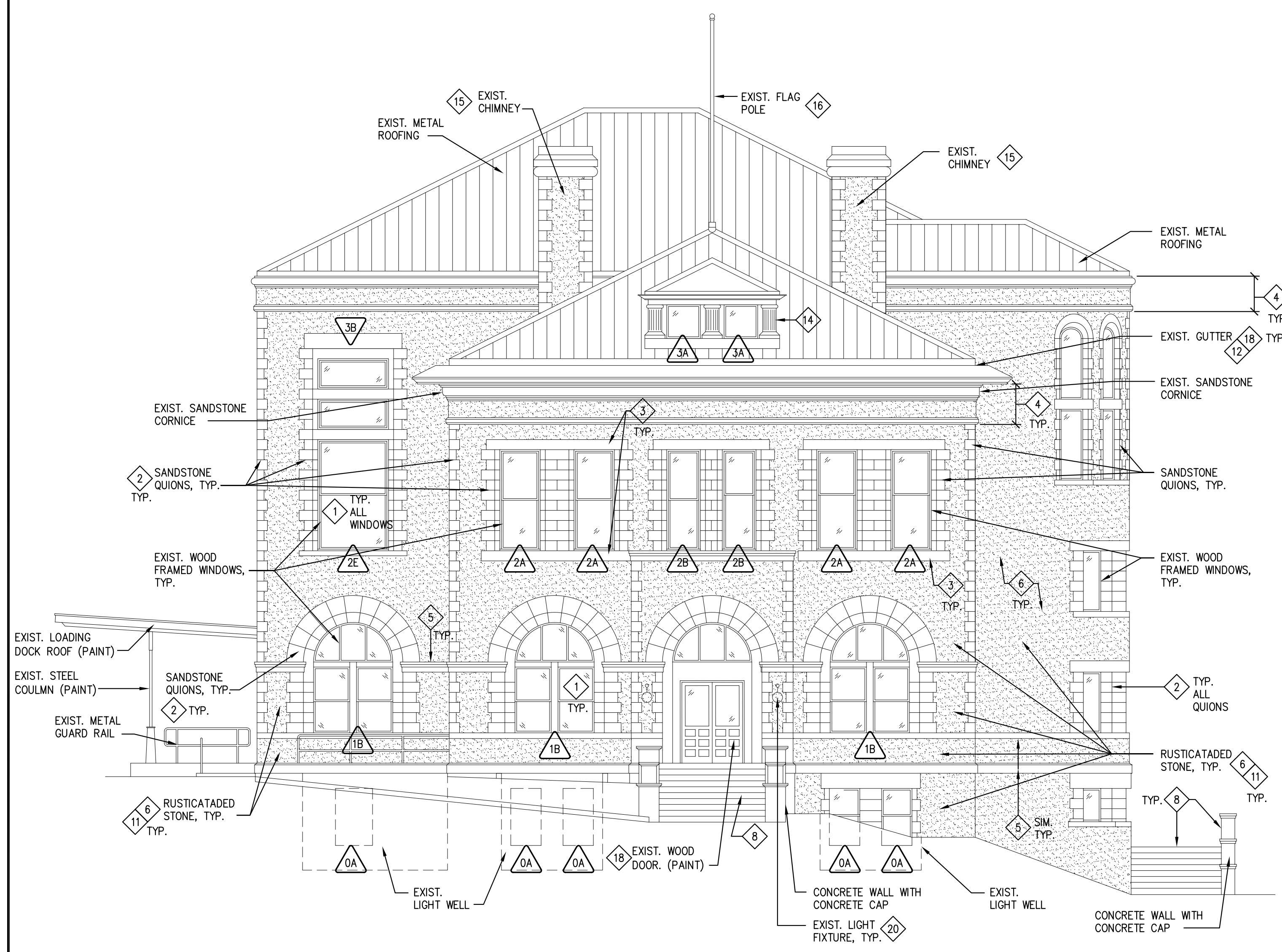


1 EAST (WASHINGTON STREET) ELEVATION  
A2.1

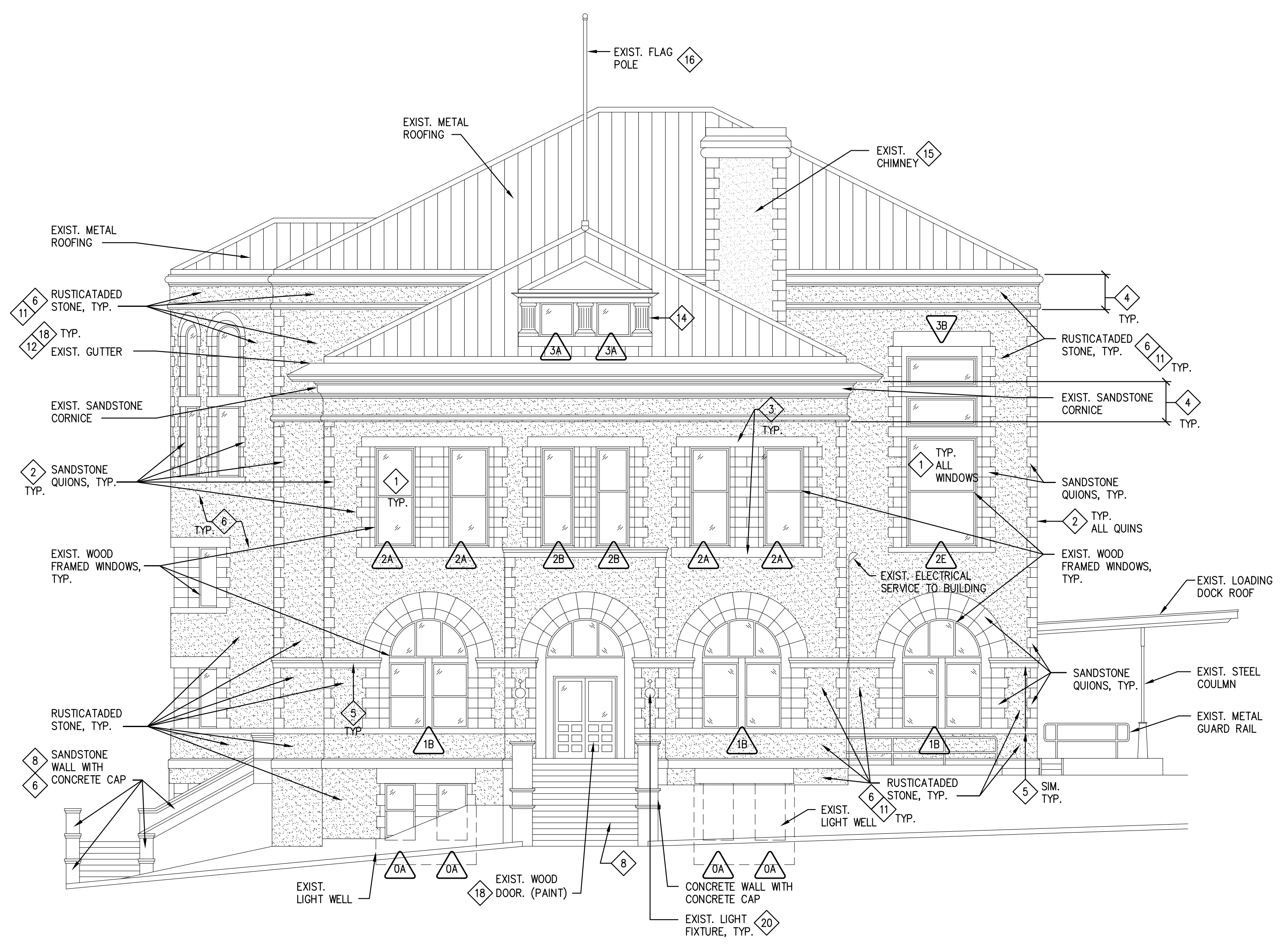
SCALE: 1/8" = 1'-0"

3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
STEVEN A. BARNES  
STATE OF WASHINGTON

NOTE:  
SEE SHEET A1.0 FOR ELEVATION NOTE TAGS



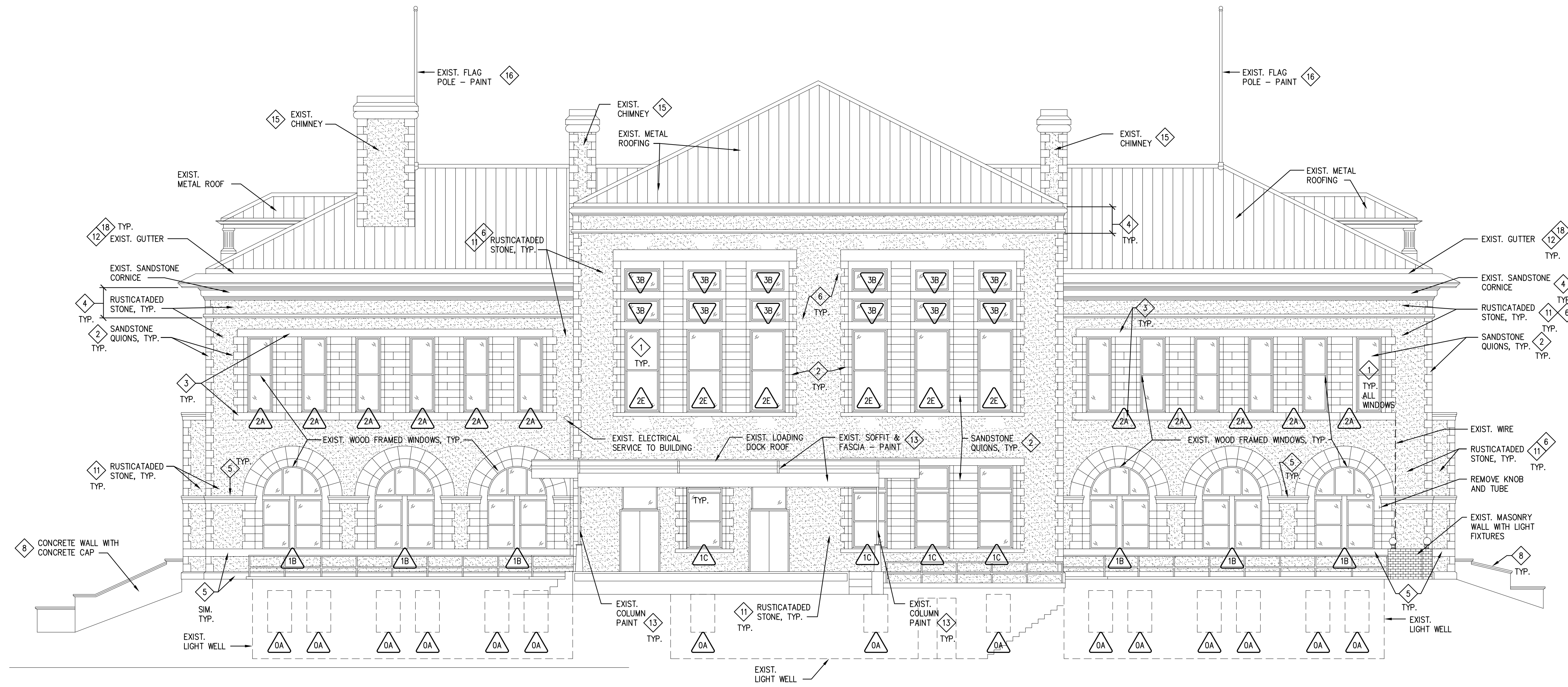
1 SOUTH (VAN BUREN STREET) ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



2 NORTH (HARRISON STREET) ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"

3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
 STEVEN A. BARNES  
 STATE OF WASHINGTON

NOTE:  
SEE SHEET A1.0 FOR ELEVATION NOTE TAGS



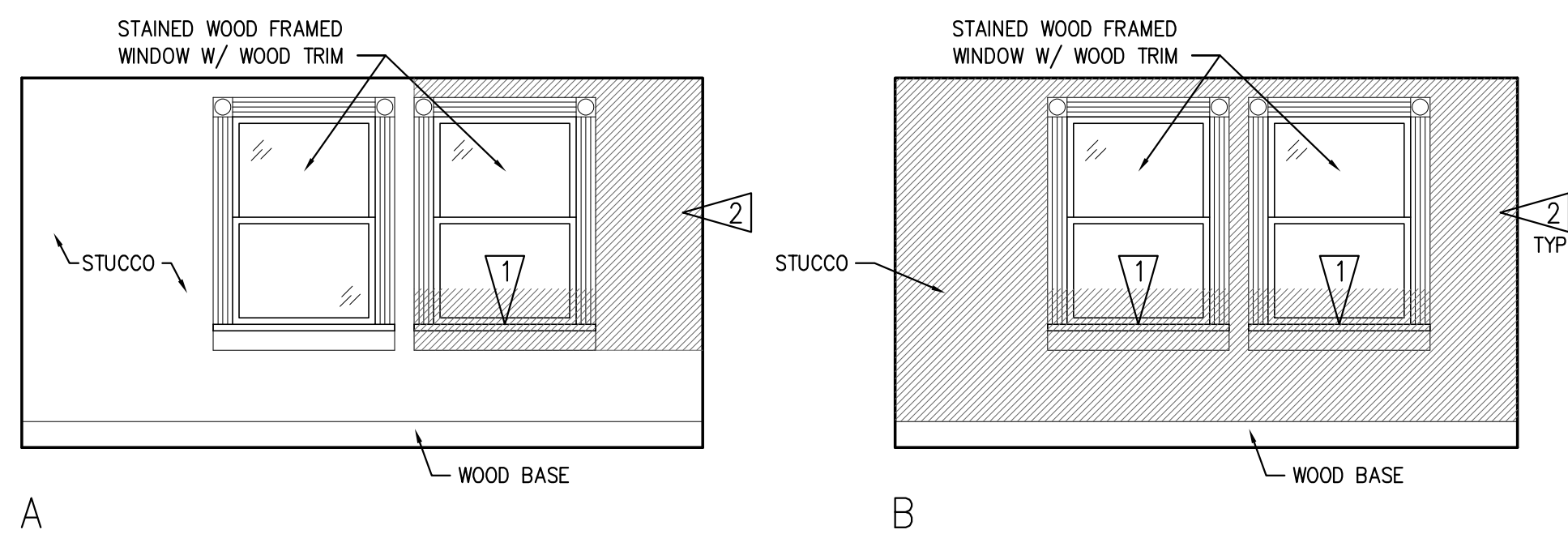
1 WEST (JEFFERSON STREET) ELEVATION  
A2.1

SCALE: 1/8" = 1'-0"

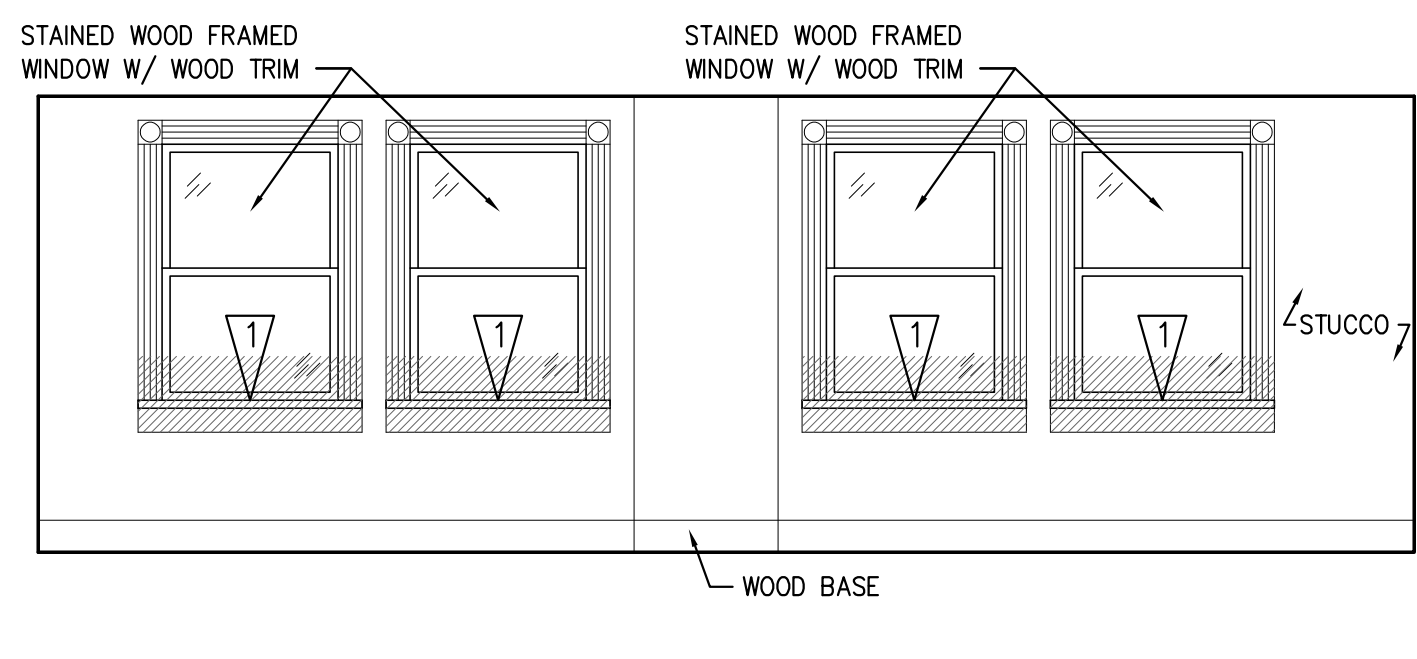
Revisions:

Date:	06/10/2022
-------	------------

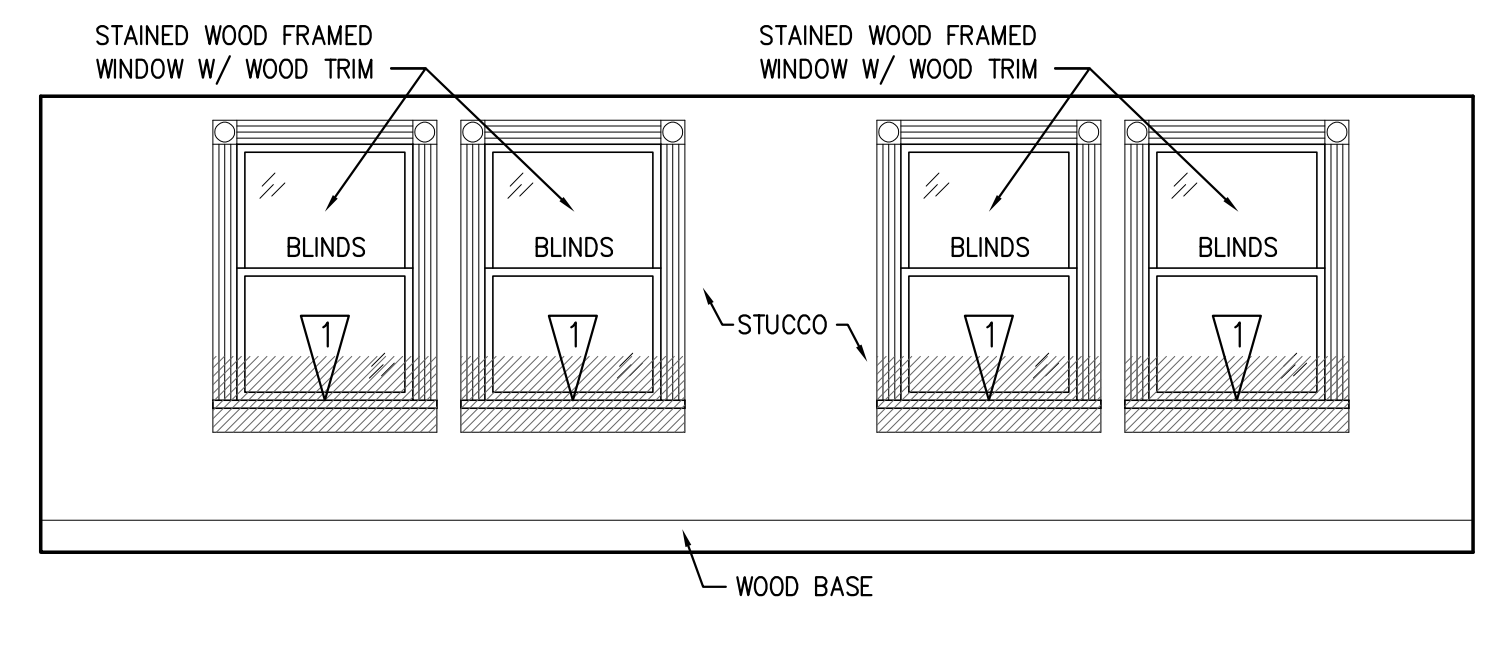
3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
 STEVEN A. BARNES  
 STATE OF WASHINGTON



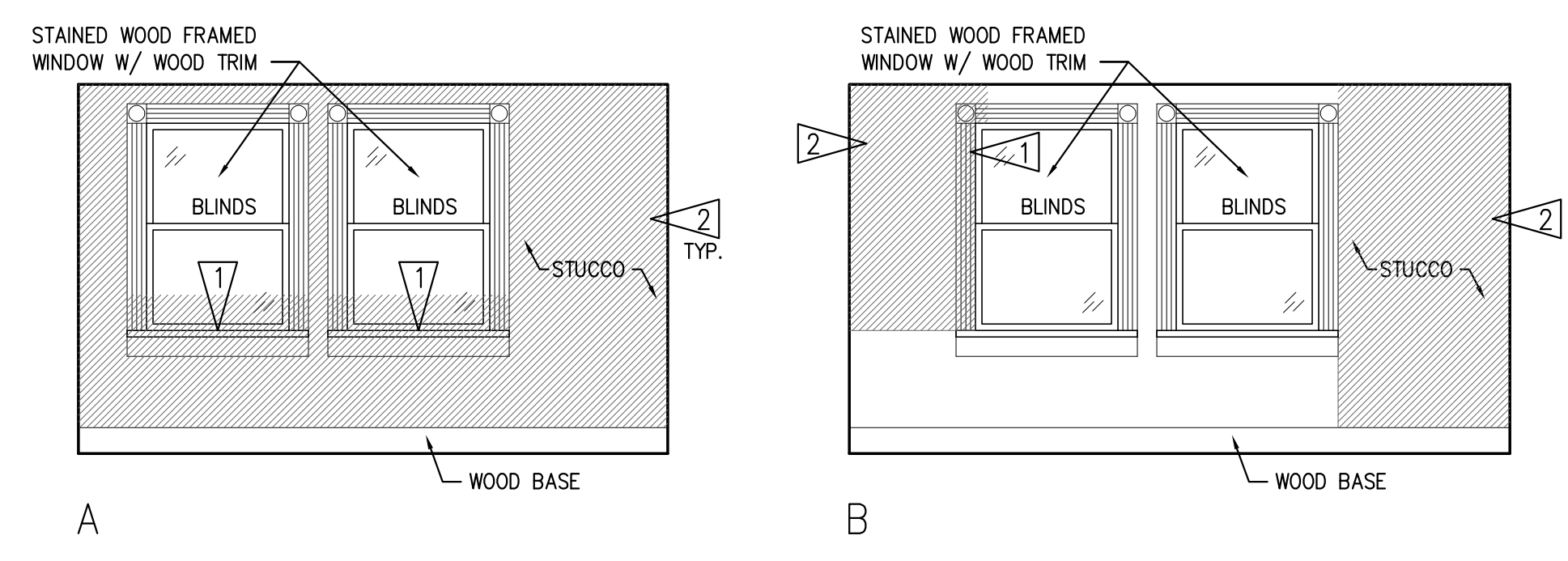
1 INTERIOR ELEVATION - OFFICE  
Drawing 1 SCALE: 1/4" = 1'-0"



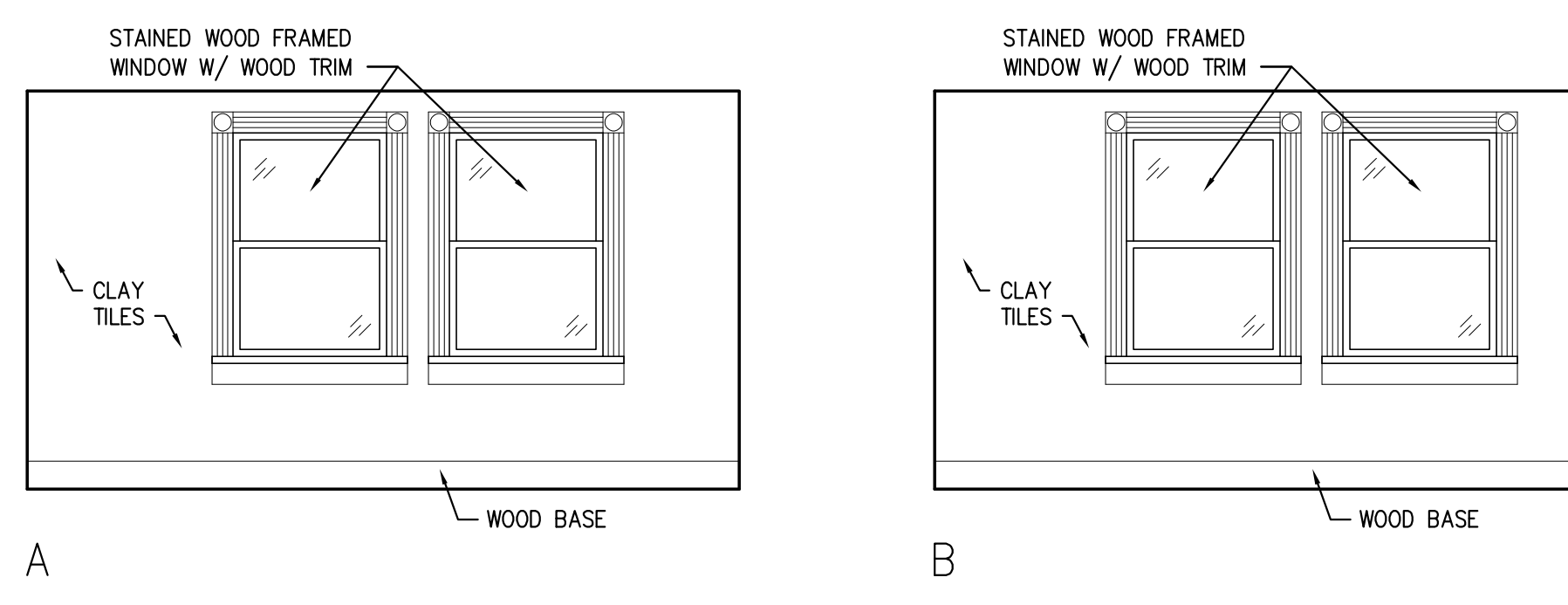
2 INTERIOR ELEVATION - WORK ROOM  
Drawing 1 SCALE: 1/4" = 1'-0"



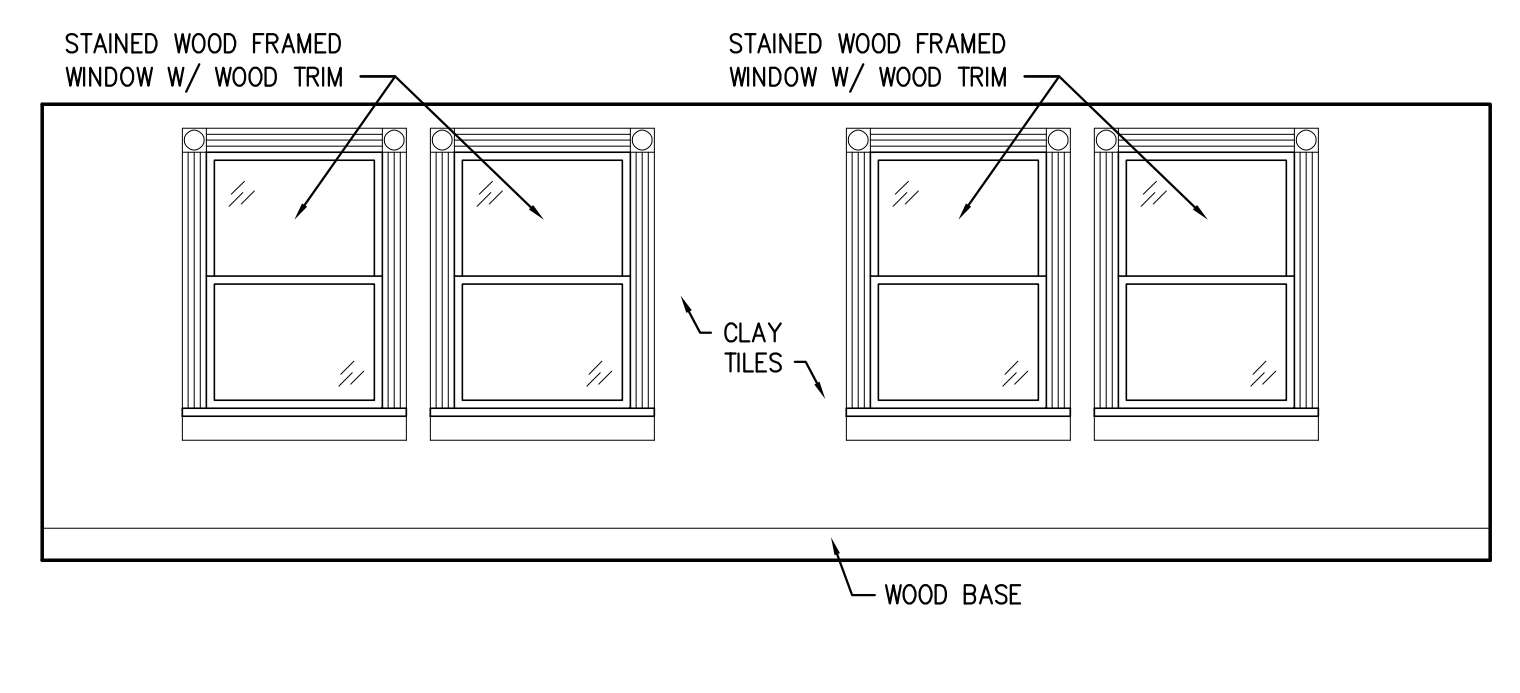
3 INTERIOR ELEVATION - WORK ROOM  
Drawing 1 SCALE: 1/4" = 1'-0"



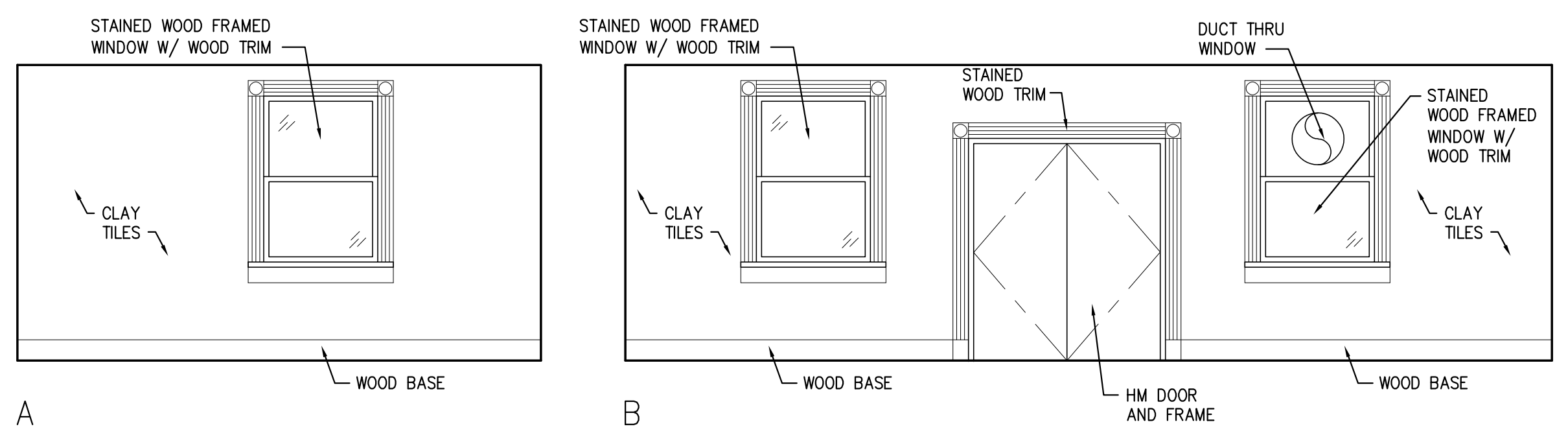
4 INTERIOR ELEVATION - OFFICE  
Drawing 1 SCALE: 1/4" = 1'-0"



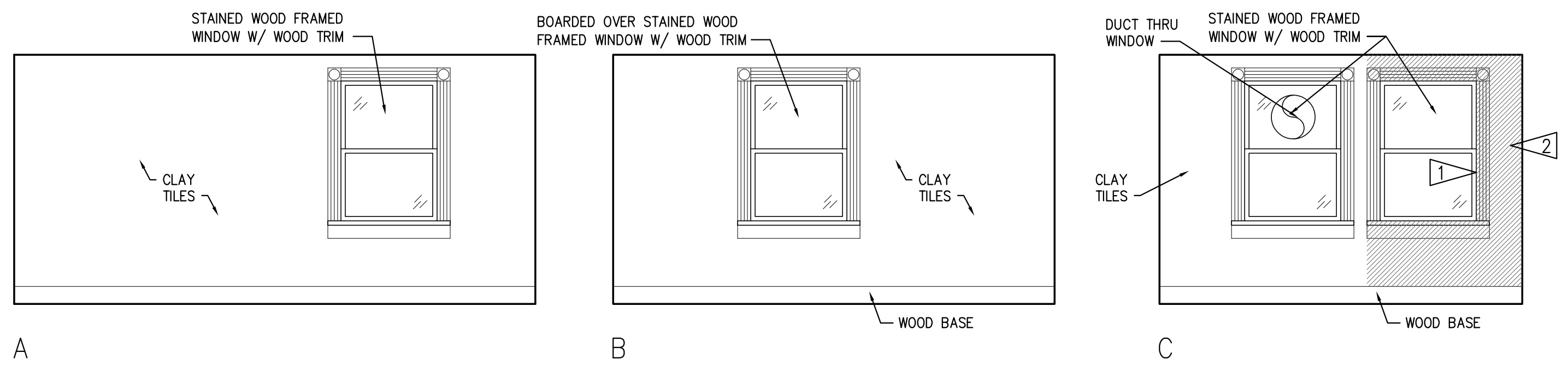
5 INTERIOR ELEVATION - OFFICE  
Drawing 1 SCALE: 1/4" = 1'-0"



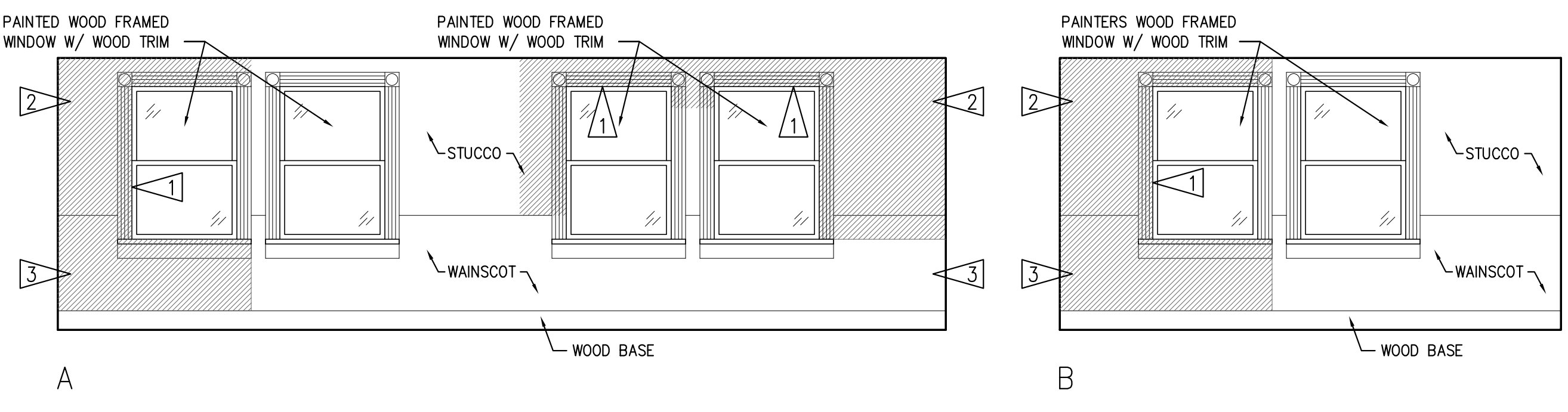
6 INTERIOR ELEVATION - WORK ROOM  
Drawing 1 SCALE: 1/4" = 1'-0"



7 INTERIOR ELEVATION  
Drawing 1 SCALE: 1/4" = 1'-0"



8 INTERIOR ELEVATION - BOILER ROOM  
Drawing 1 SCALE: 1/4" = 1'-0"



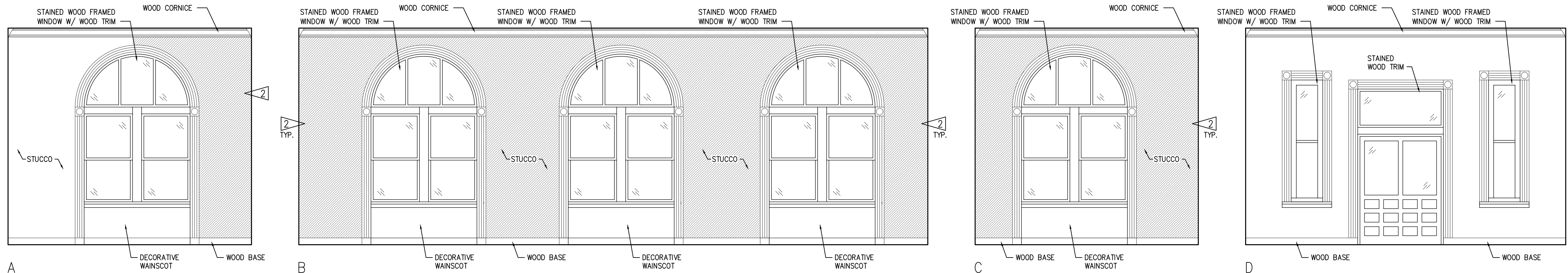
9 INTERIOR ELEVATION - MENS ROOM  
Drawing 1 SCALE: 1/4" = 1'-0"

AREA OF WORK TO BE REPAIRED, INCLUDING BUT NOT LIMITED TO DAMAGED PLASTER/STUCCO WALLS, WINDOW SILLS, CASING & TRIM.

- GENERAL NOTES:**
- ALL INTERIOR ELEMENTS ARE EXISTING UNLESS NOTED OTHERWISE.
  - ALL WINDOW SILLS TO BE CLEANED, SANDED AND FINISHED (STAINED OR PAINTED) TO MATCH EXISTING. WINDOW SILLS TO BE REPLACED IF DAMAGED OR ROTTED AS INDICATED.
  - WHERE REPAIR AT EXISTING WINDOW SILLS, CASING OR TRIM IS REQUIRED, THE CONTRACTOR SHALL SAND, PREP AND FINISH (STAIN OR PAINT) ALL SILLS, CASING & TRIM TO MATCH EXISTING. PROVIDE NEW WHERE REQUIRED. ASSUME 200 LF OF SILLS, 400 LF OF CASING AND 400 LF OF TRIM. NEW SILLS, CASING & TRIM SHALL MATCH EXISTING WOOD SPECIES, COLOR AND PROFILE.
  - AT INTERIOR WALLS WHERE REPAIR OCCURS, PAINT ENTIRE WALL FROM CORNER TO CORNER. MATCH EXISTING PAINT COLOR.

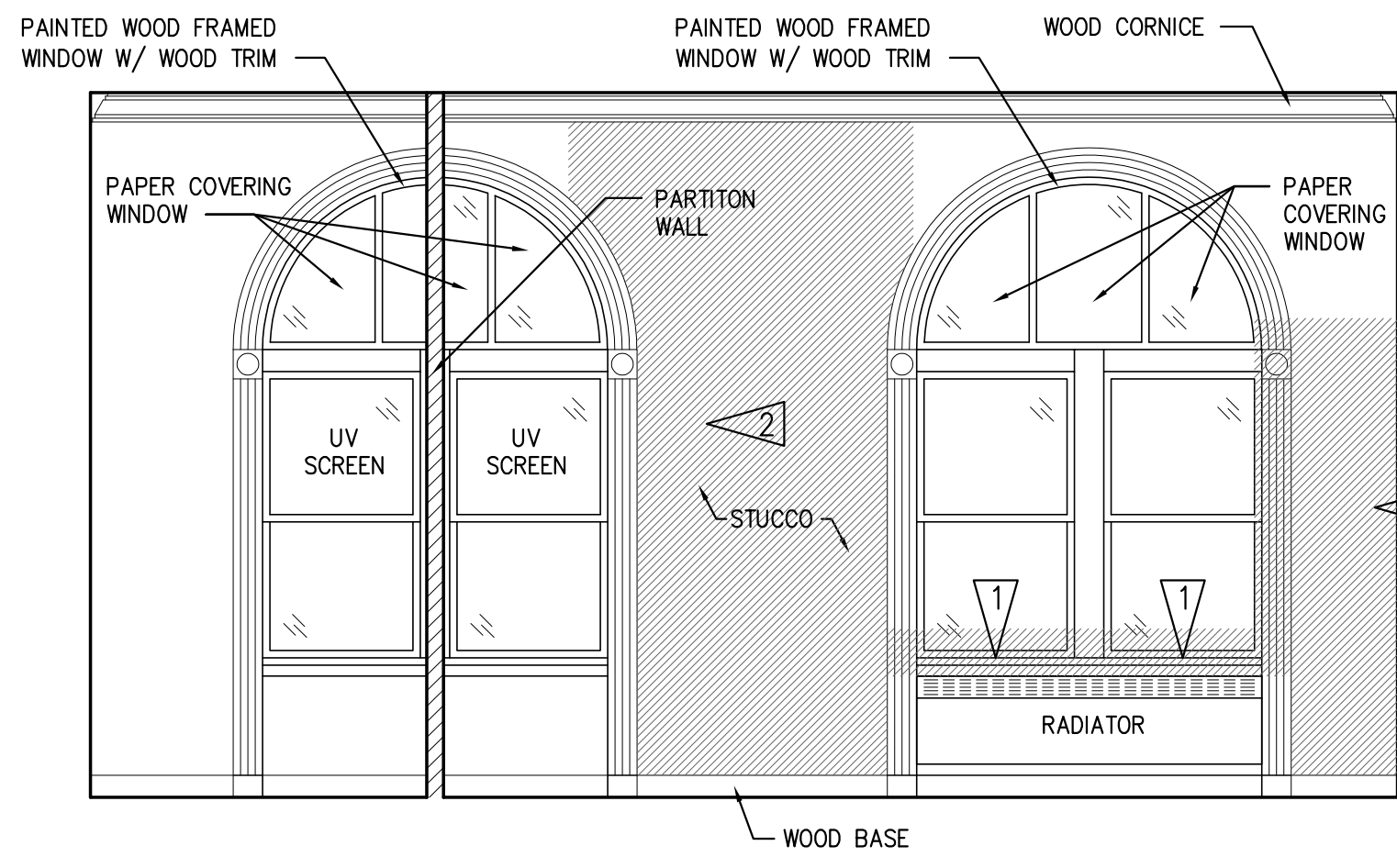
- KEY NOTES:**
- CONTRACTOR SHALL REMOVE EXISTING SILL, CASING AND TRIM. PROVIDE REPAIRS AND PROVIDE NEW AS REQUIRED. SAND, PREP AND FINISH (STAIN OR PAINT) TO MATCH EXISTING AND REINSTALL.
  - REMOVE DAMAGED STUCCO TO EXPOSE EXISTING SUBSTRATE. REMOVE EXISTING WOOD BASE AND/OR EXISTING WOOD CORNICE AS REQUIRED TO PERFORM WORK. STORE FOR REINSTALLATION. PROVIDE NEW STUCCO TO MATCH EXISTING FINISH & TEXTURE. PREP, PRIME AND PAINT ENTIRE WALL WHERE REPAIR OCCURS. REINSTALL EXISTING WOOD BASE AND/OR EXISTING WOOD CORNICE.
  - REMOVE EXISTING WAINSCOT AND EXISTING WOOD BASE AND STORE FOR REINSTALLATION. REMOVE DAMAGED STUCCO TO EXPOSE EXISTING SUBSTRATE. PROVIDE NEW STUCCO TO MATCH EXISTING FINISH & TEXTURE. PREP, PRIME AND PAINT ENTIRE WALL WHERE REPAIR OCCURS. REINSTALL EXISTING WAINSCOT & EXISTING WOOD BASE.
  - REMOVE DAMAGED PLYWOOD TO EXPOSE EXISTING SUBSTRATE. PROVIDE NEW TO MATCH EXISTING.

3954 REGISTERED ARCHITECT  
STEVEN A. BARNES  
STATE OF WASHINGTON



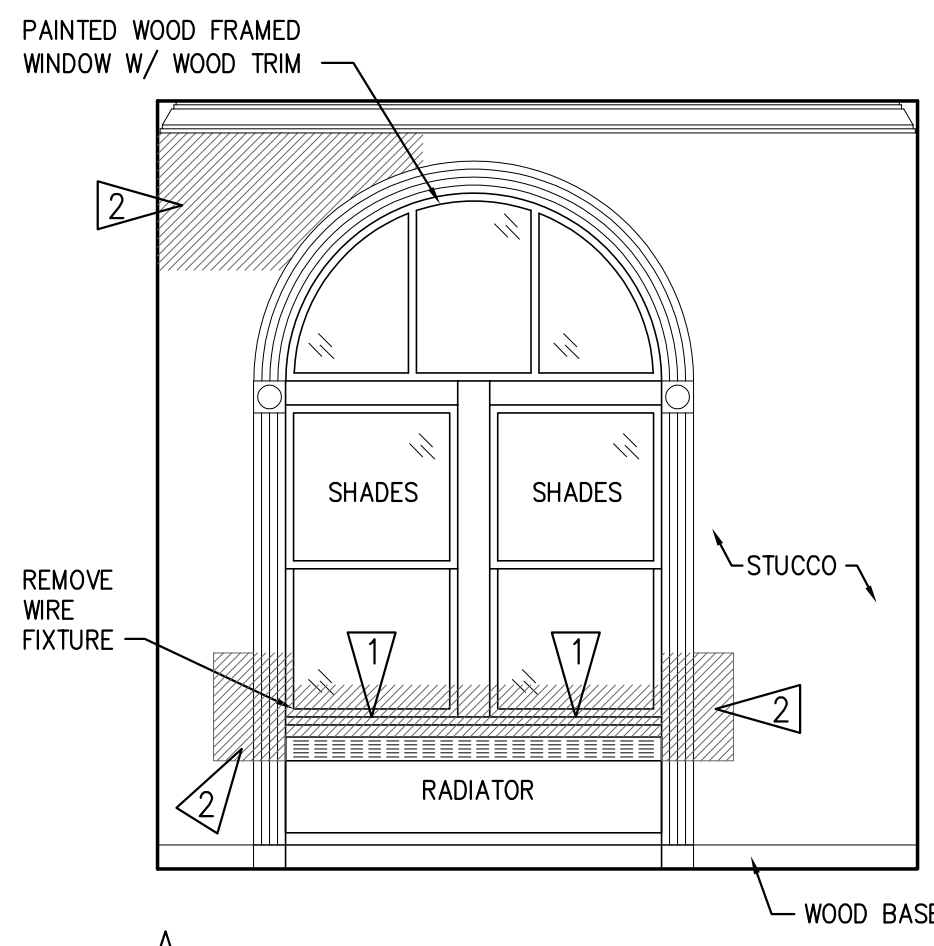
1 INTERIOR ELEVATION - HALL  
Drawing 1

SCALE: 1/4" = 1'-0"



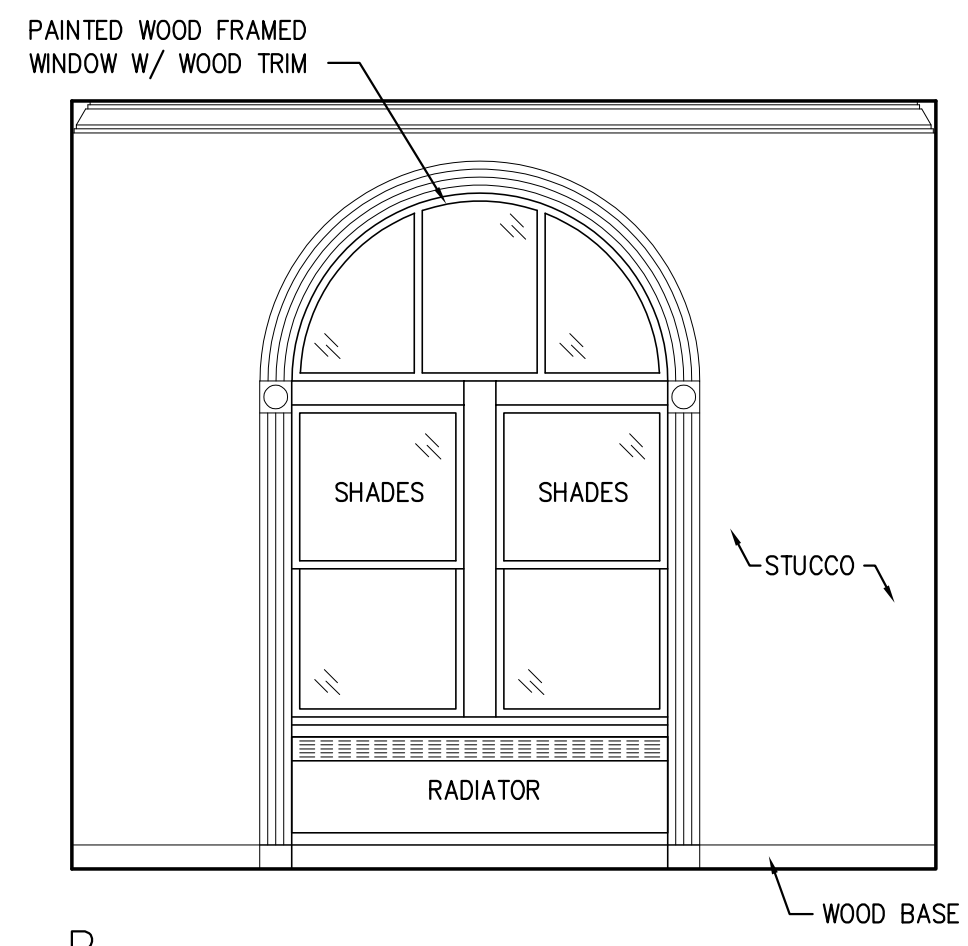
2 INTERIOR ELEVATION - PARCEL LOCKERS  
Drawing 1

SCALE: 1/4" = 1'-0"



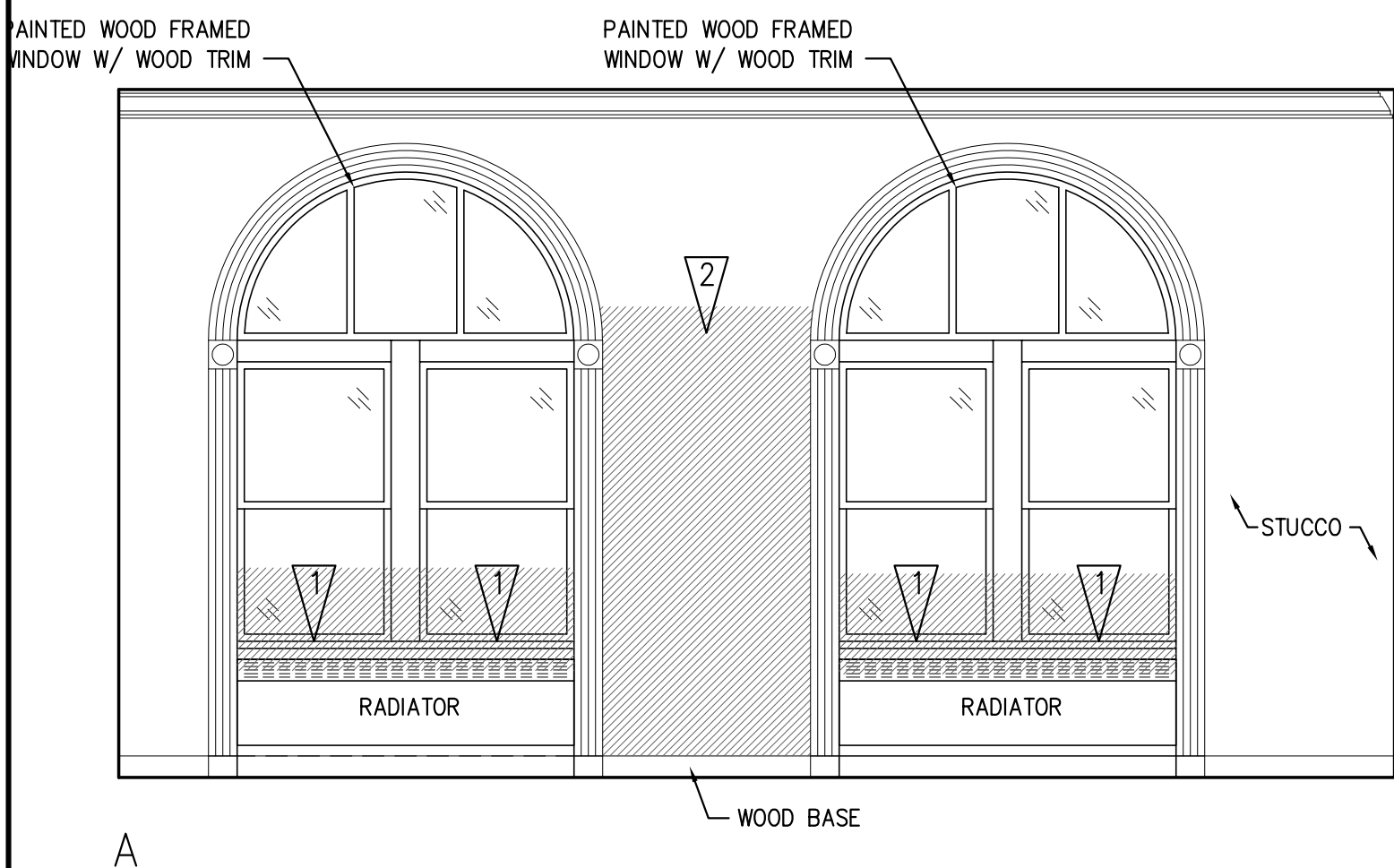
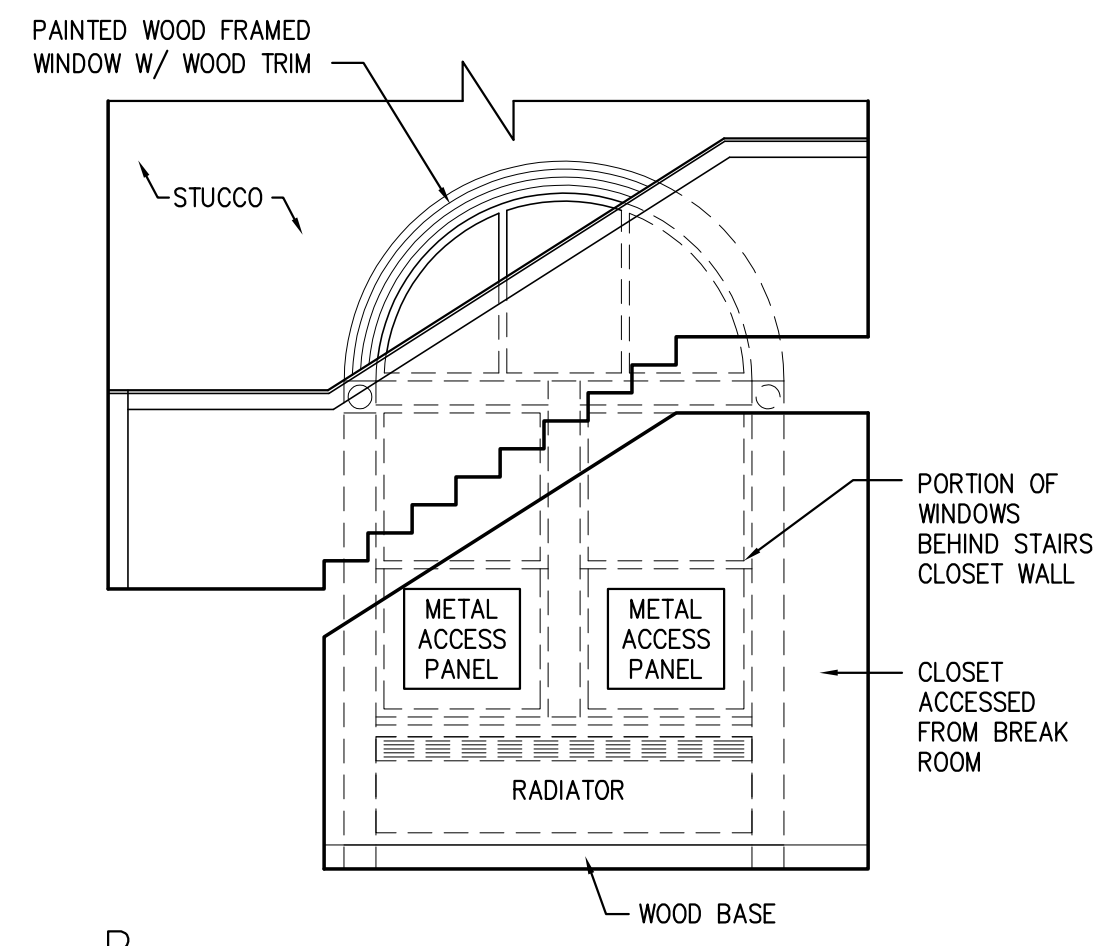
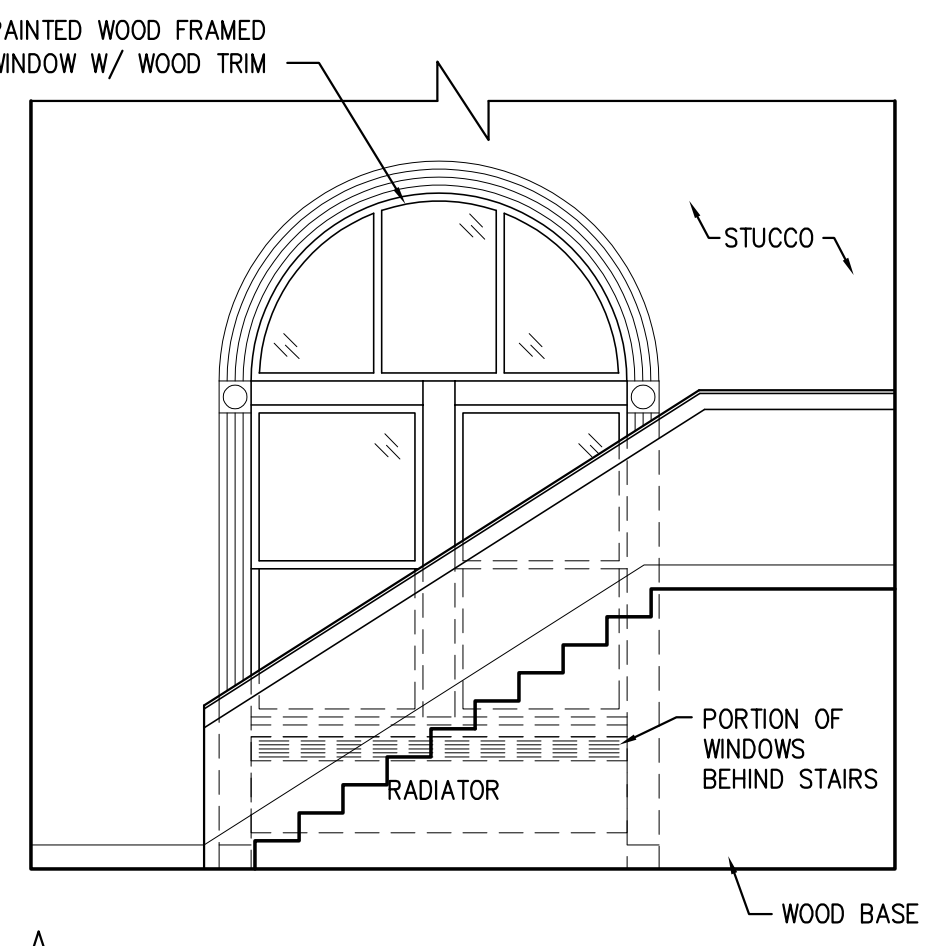
3 INTERIOR ELEVATION - OFFICE  
Drawing 1

SCALE: 1/4" = 1'-0"



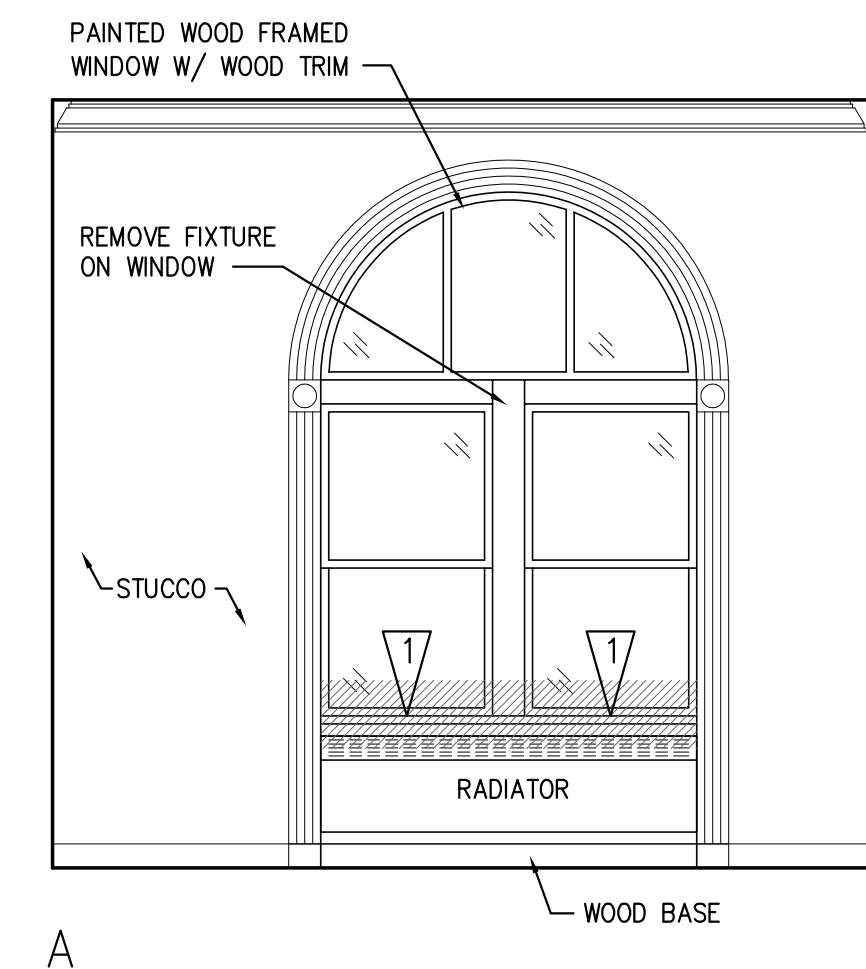
4 INTERIOR ELEVATION - STAIRS  
Drawing 1

SCALE: 1/4" = 1'-0"



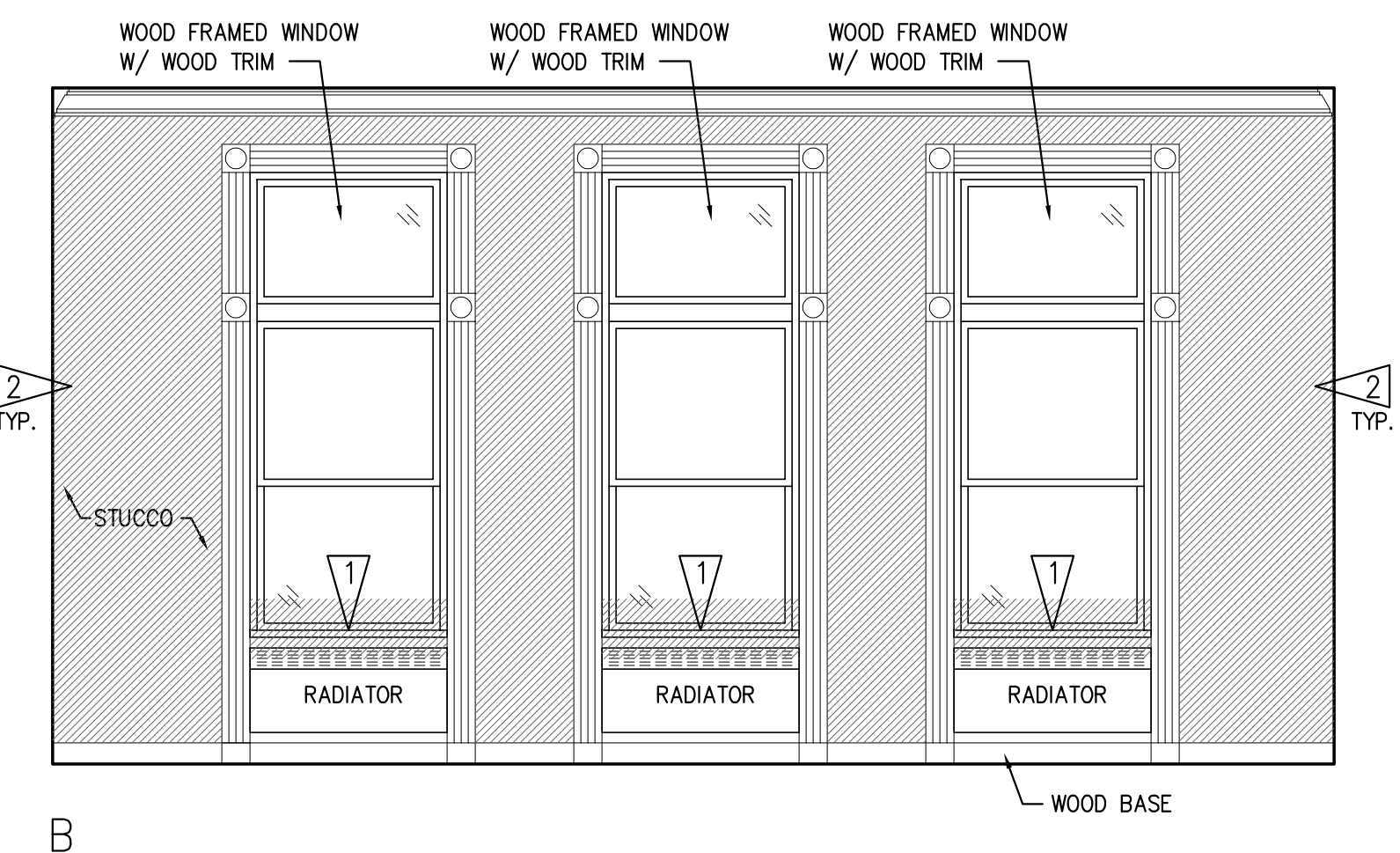
5 INTERIOR ELEVATION - OFFICE  
Drawing 1

SCALE: 1/4" = 1'-0"



6 INTERIOR ELEVATION - WORK ROOM  
Drawing 1

SCALE: 1/4" = 1'-0"

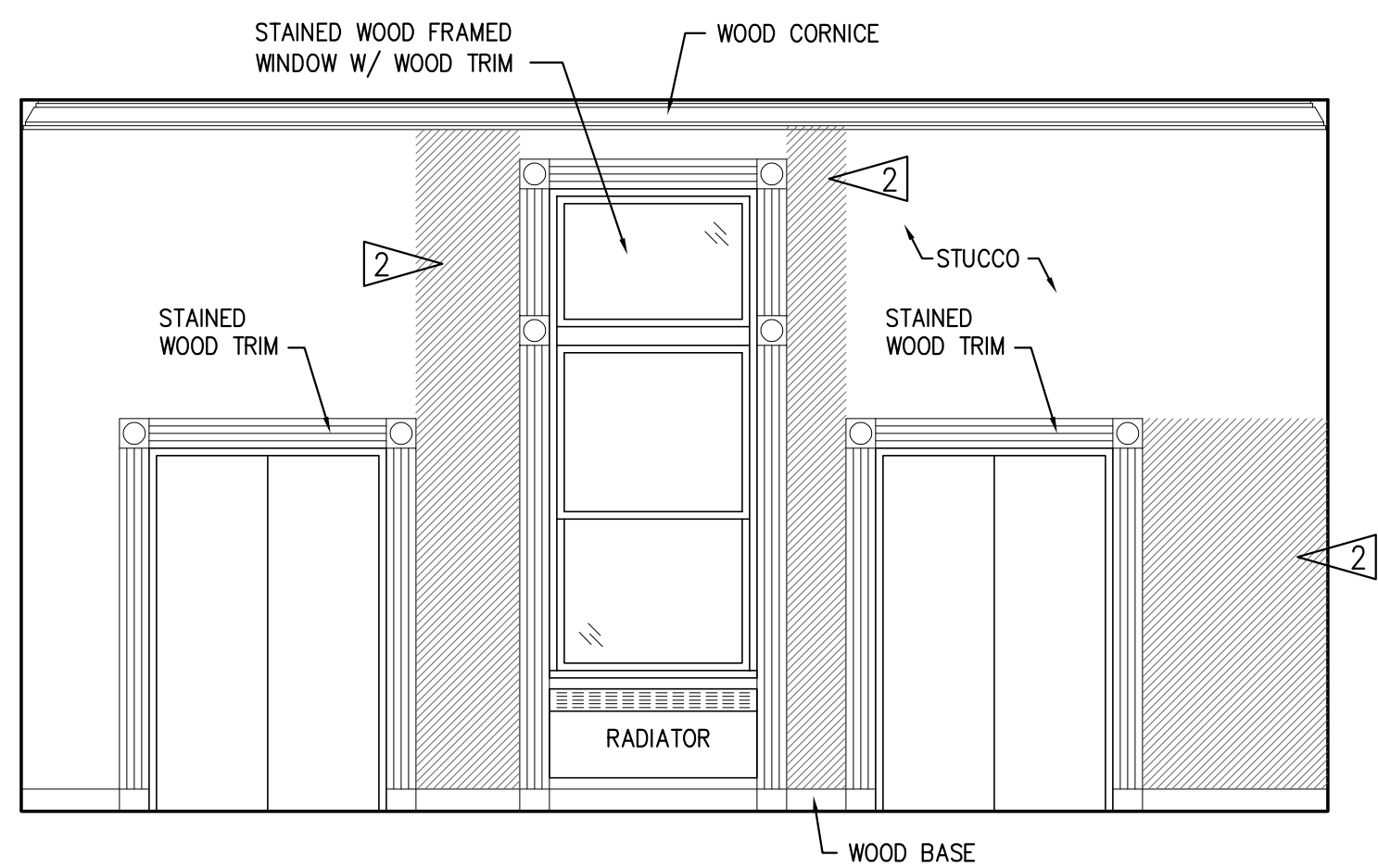


AREA OF WORK TO BE REPAIRED, INCLUDING BUT NOT LIMITED TO DAMAGED PLASTER/STUCCO WALLS, WINDOW SILLS, CASING & TRIM.

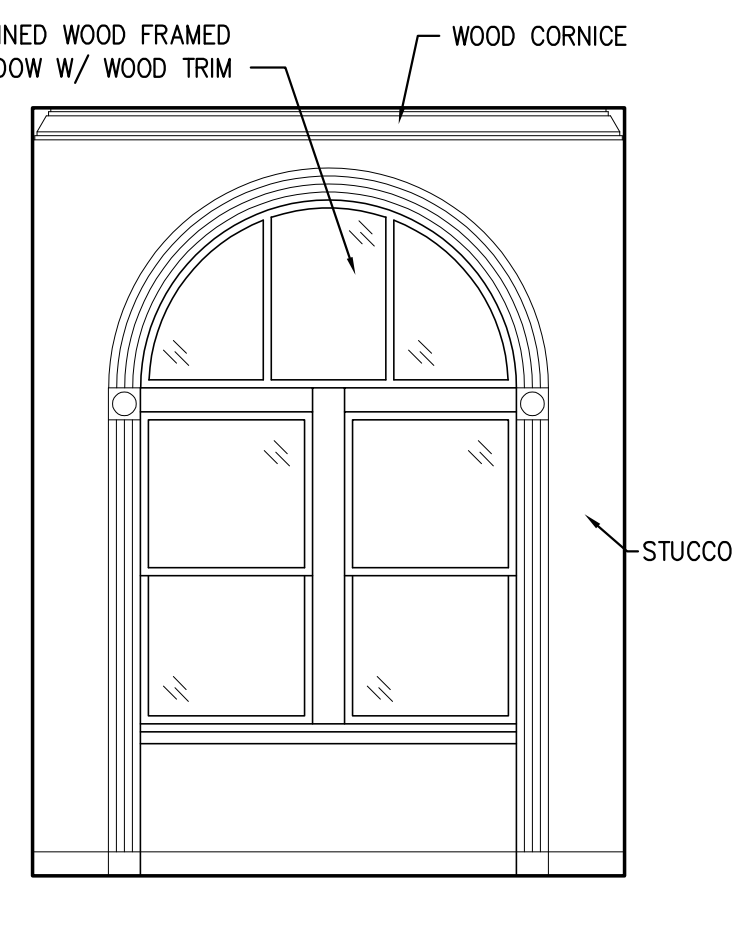
- GENERAL NOTES:**
- ALL INTERIOR ELEMENTS ARE EXISTING UNLESS NOTED OTHERWISE.
  - ALL WINDOW SILLS TO BE CLEANED, SANDED AND FINISHED (STAINED OR PAINTED) TO MATCH EXISTING. WINDOW SILLS TO BE REPLACED IF DAMAGED OR ROTTED AS INDICATED.
  - WHERE REPAIR AT EXISTING WINDOW SILLS, CASING OR TRIM IS REQUIRED, THE CONTRACTOR SHALL SAND, PREP AND FINISH (STAIN OR PAINT) ALL SILLS, CASING & TRIM TO MATCH EXISTING. PROVIDE NEW WHERE REQUIRED. ASSUME 200 LF OF SILLS, 400 LF OF CASING AND 400 LF OF TRIM. NEW SILLS, CASING & TRIM SHALL MATCH EXISTING WOOD SPECIES, COLOR AND PROFILE.
  - AT INTERIOR WALLS WHERE REPAIR OCCURS, PAINT ENTIRE WALL FROM CORNER TO CORNER. MATCH EXISTING PAINT COLOR.

- KEY NOTES:**
- CONTRACTOR SHALL REMOVE EXISTING SILL, CASING AND TRIM. PROVIDE REPAIRS AND PROVIDE NEW AS REQUIRED. SAND, PREP AND FINISH (STAIN OR PAINT) TO MATCH EXISTING AND REINSTALL.
  - REMOVE DAMAGED STUCCO TO EXPOSE EXISTING SUBSTRATE. REMOVE EXISTING WOOD BASE AND/OR EXISTING WOOD CORNICE AS REQUIRED TO PERFORM WORK. STORE FOR REINSTALLATION. PROVIDE NEW STUCCO TO MATCH EXISTING FINISH & TEXTURE. PREP, PRIME AND PAINT ENTIRE WALL WHERE REPAIR OCCURS. COLOR TO MATCH EXISTING. REINSTALL EXISTING WOOD BASE AND/OR EXISTING WOOD CORNICE.
  - REMOVE EXISTING WAINSCOT AND EXISTING WOOD BASE AND STORE FOR REINSTALLATION. REMOVE DAMAGED STUCCO TO EXPOSE EXISTING SUBSTRATE. PROVIDE NEW STUCCO TO MATCH EXISTING FINISH & TEXTURE. PREP, PRIME AND PAINT ENTIRE WALL WHERE REPAIR OCCURS. REINSTALL EXISTING WAINSCOT & EXISTING WOOD BASE.
  - REMOVE DAMAGED PLYWOOD TO EXPOSE EXISTING SUBSTRATE. PROVIDE NEW TO MATCH EXISTING.

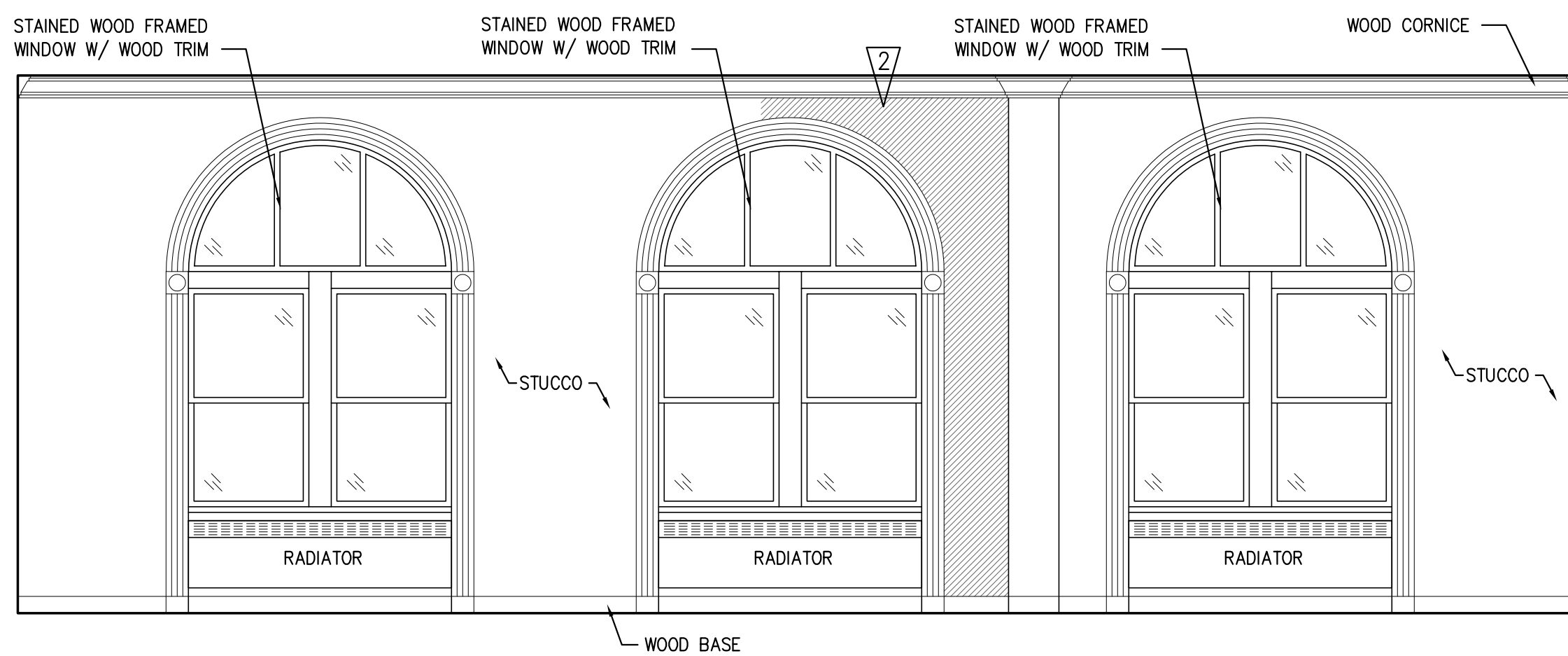
3954 REGISTERED ARCHITECT  
STEVEN A. BARNES  
STATE OF WASHINGTON



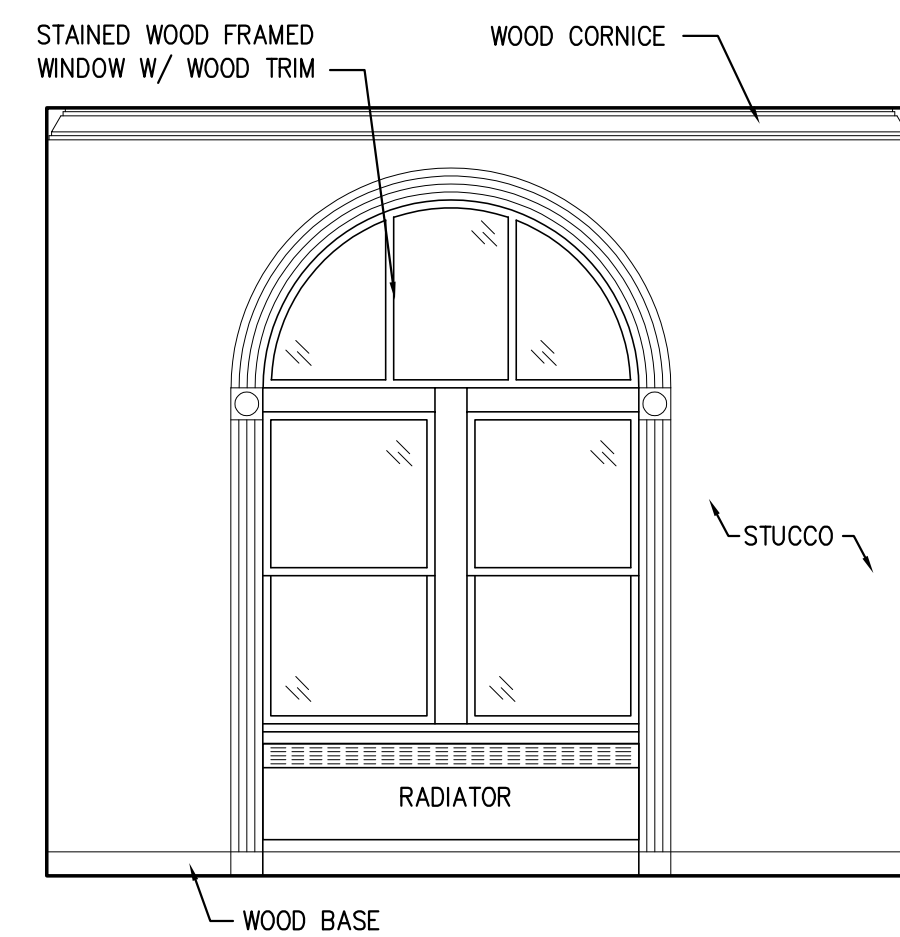
1 Drawing1  
1 INTERIOR ELEVATION - VESTIBULE



B  
SCALE: 1/4" = 1'-0"

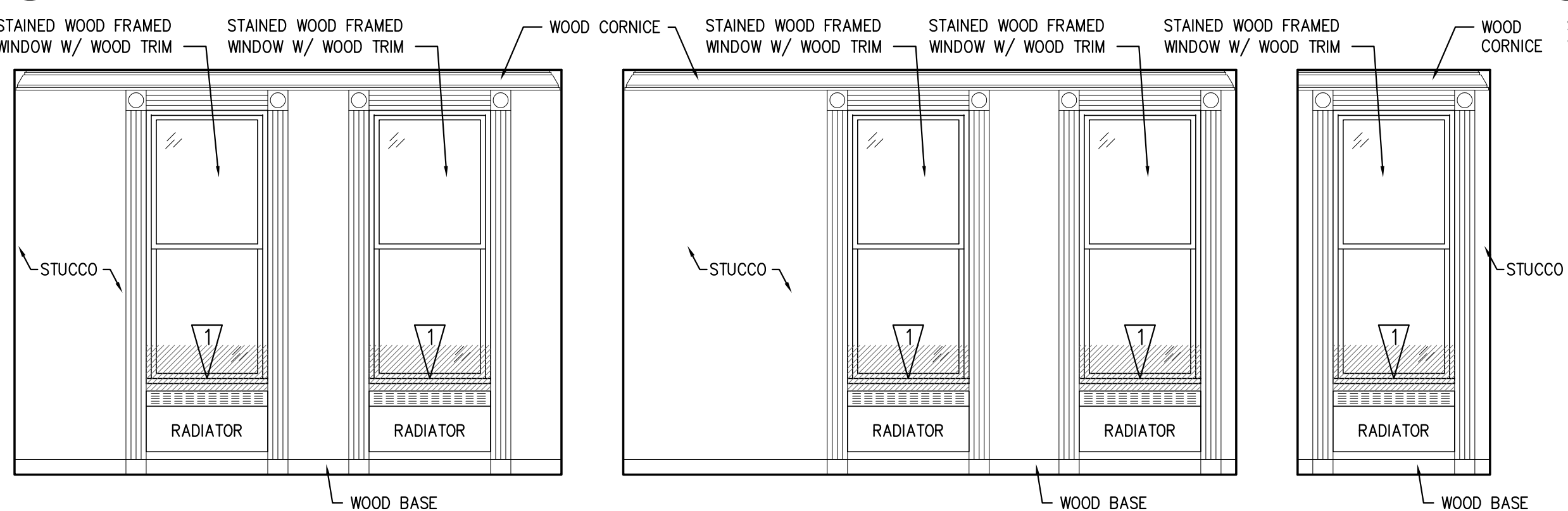


2 Drawing1  
2 INTERIOR ELEVATION - OFFICE

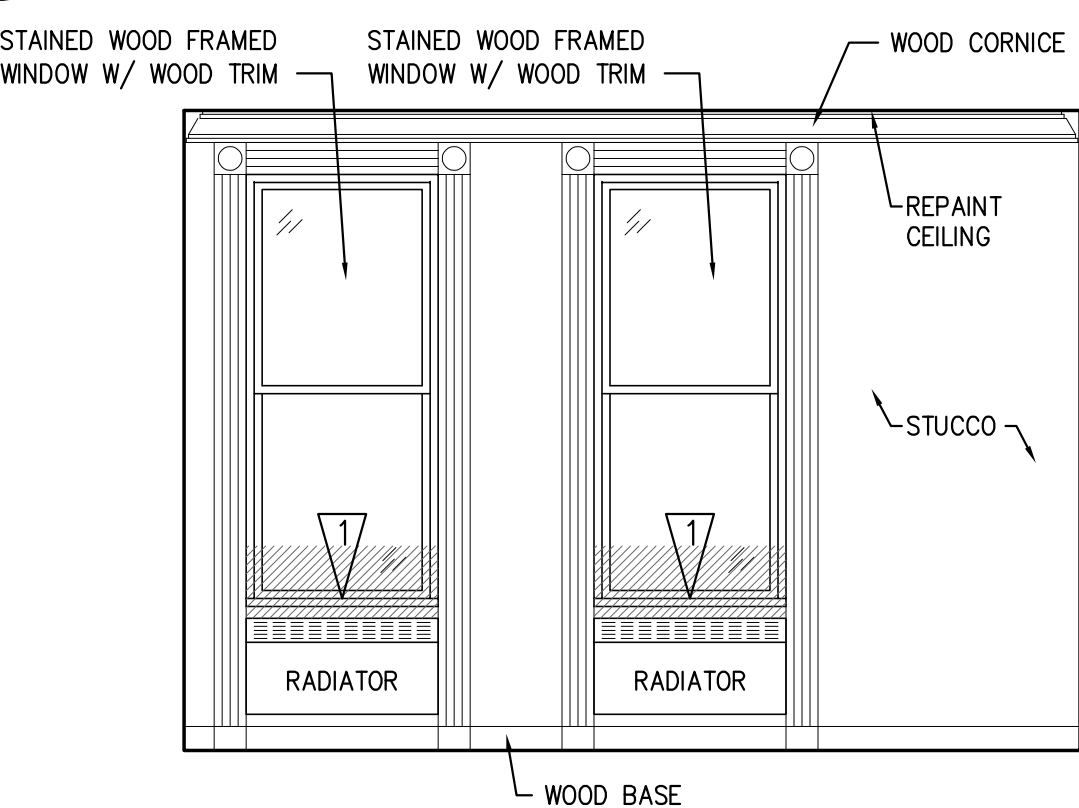


B  
SCALE: 1/4" = 1'-0"

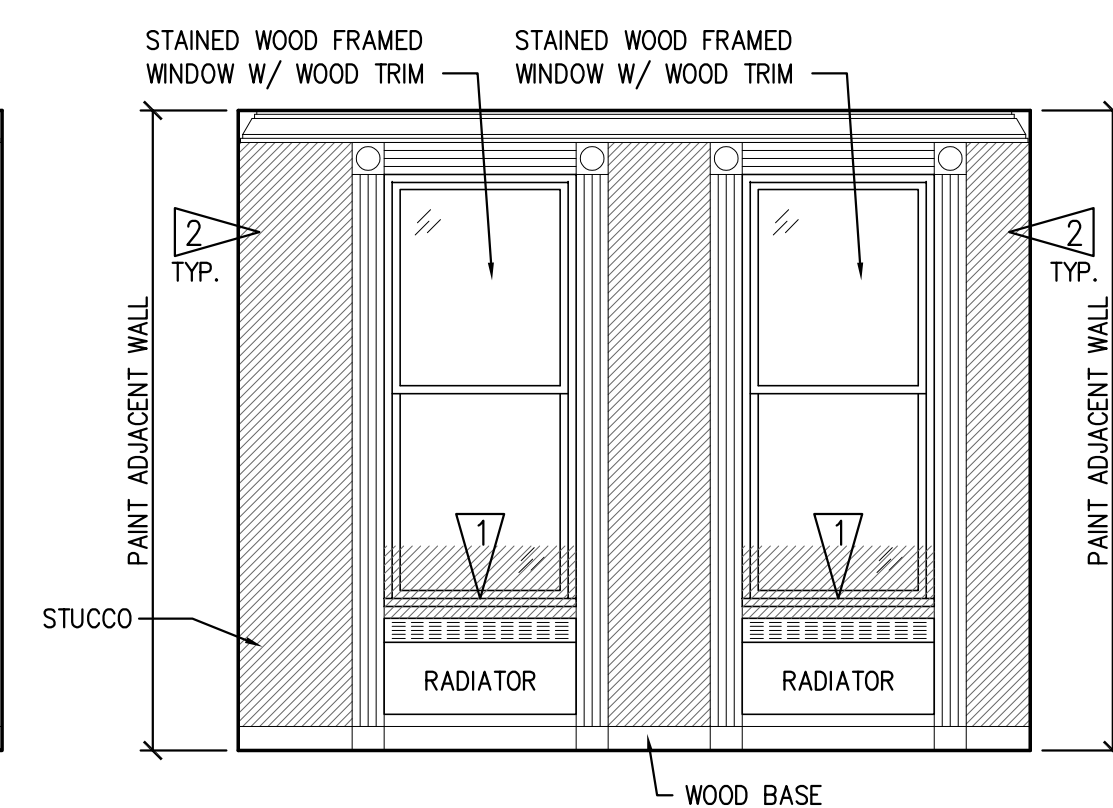
3954 REGISTERED ARCHITECT  
STEVEN A. BARNES  
STATE OF WASHINGTON



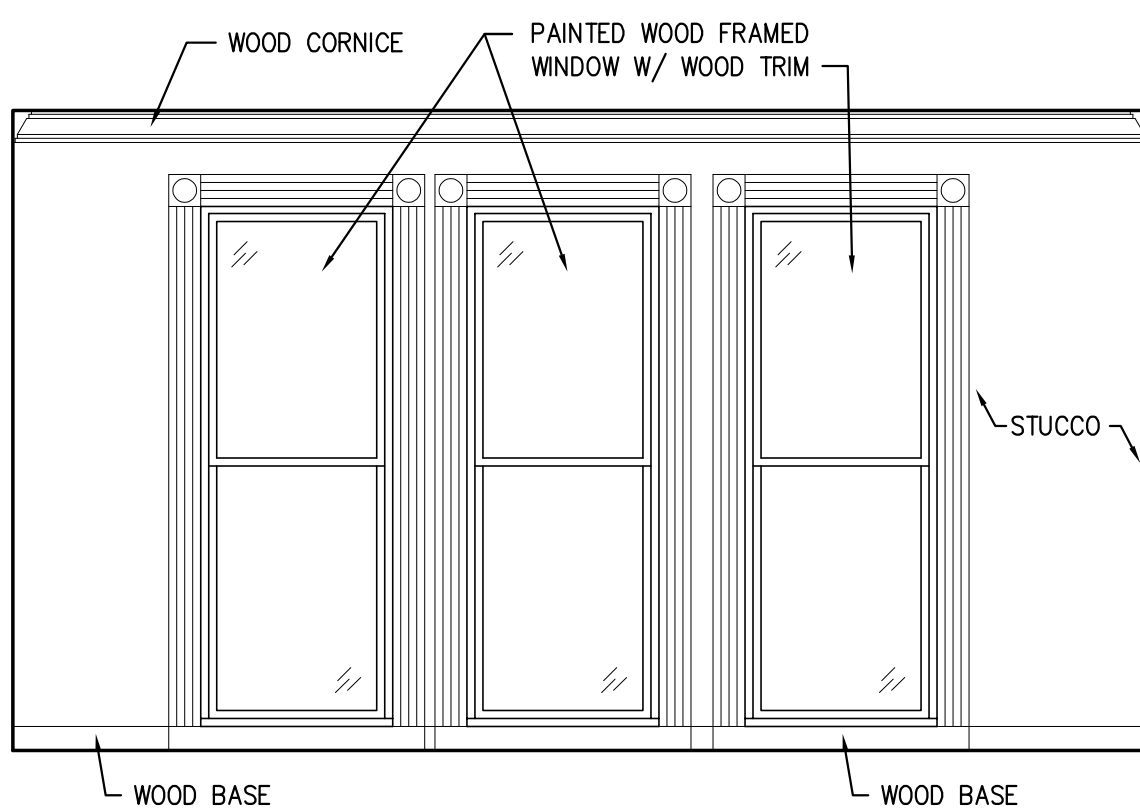
3 Drawing1  
3 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



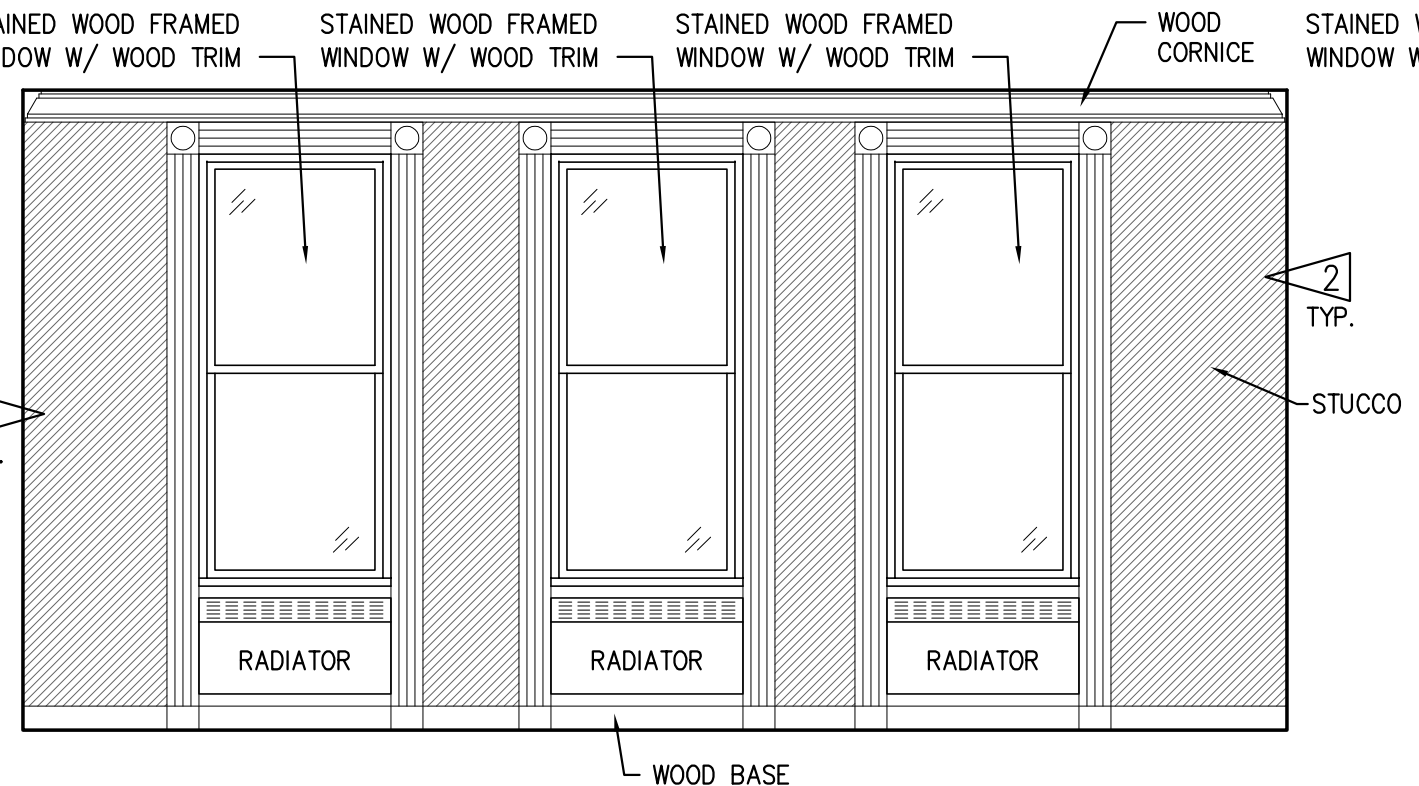
4 Drawing1  
4 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



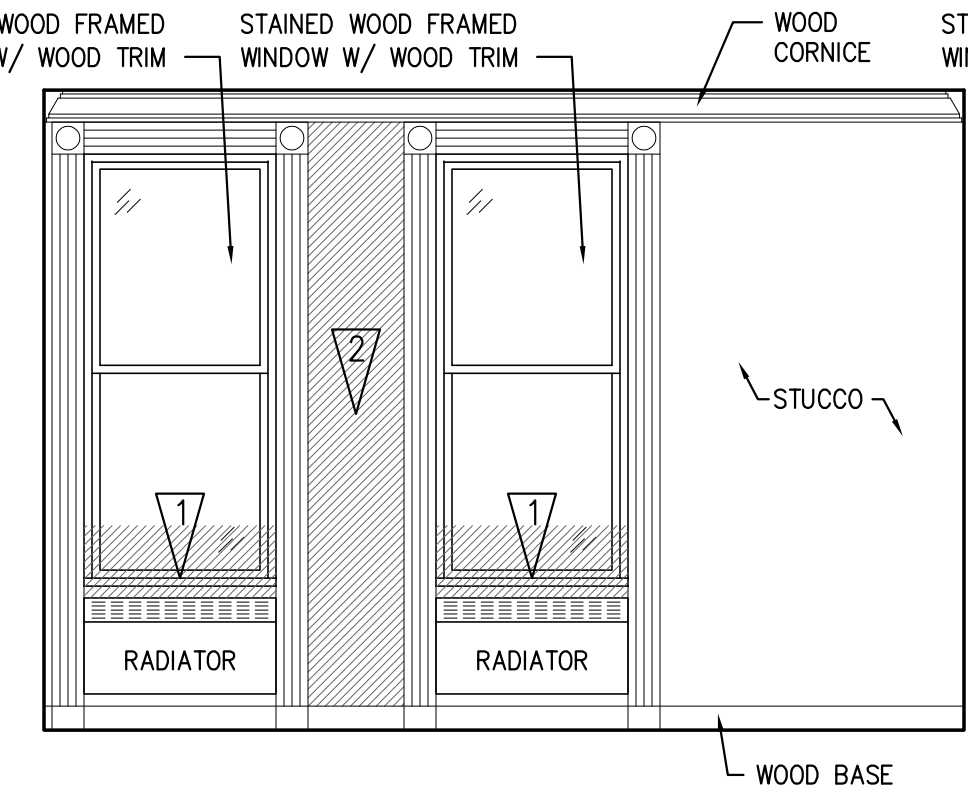
5 Drawing1  
5 INTERIOR ELEVATION - WOMENS  
SCALE: 1/4" = 1'-0"



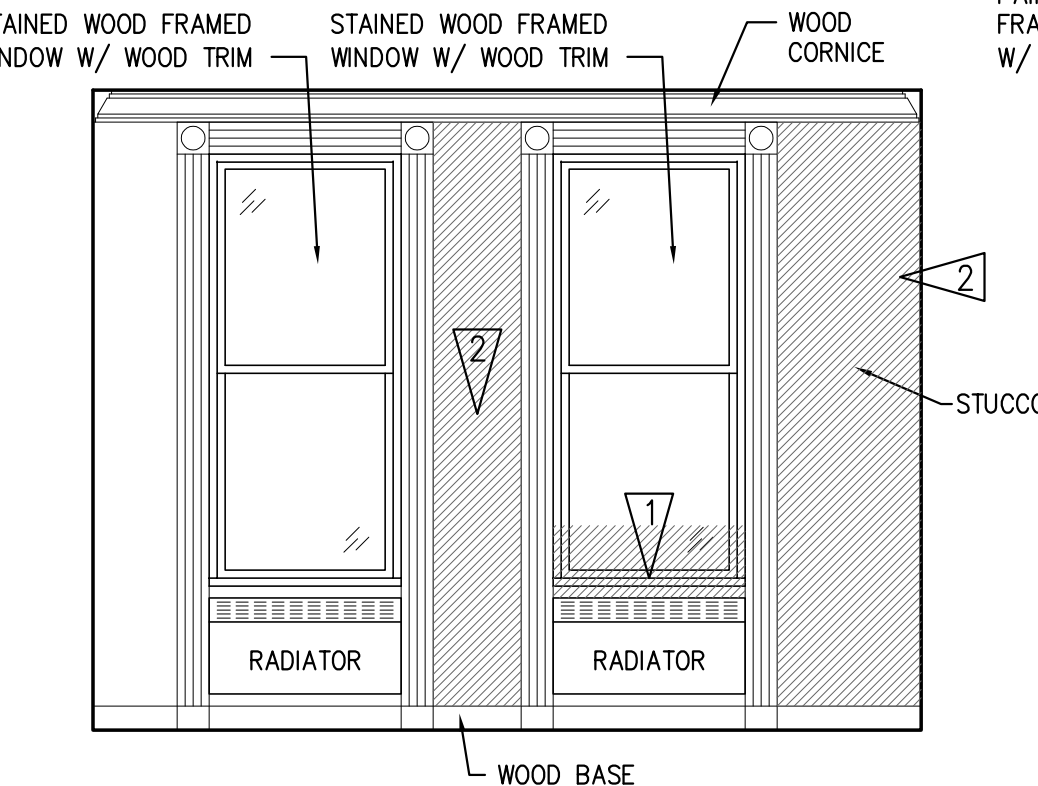
6 Drawing1  
6 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



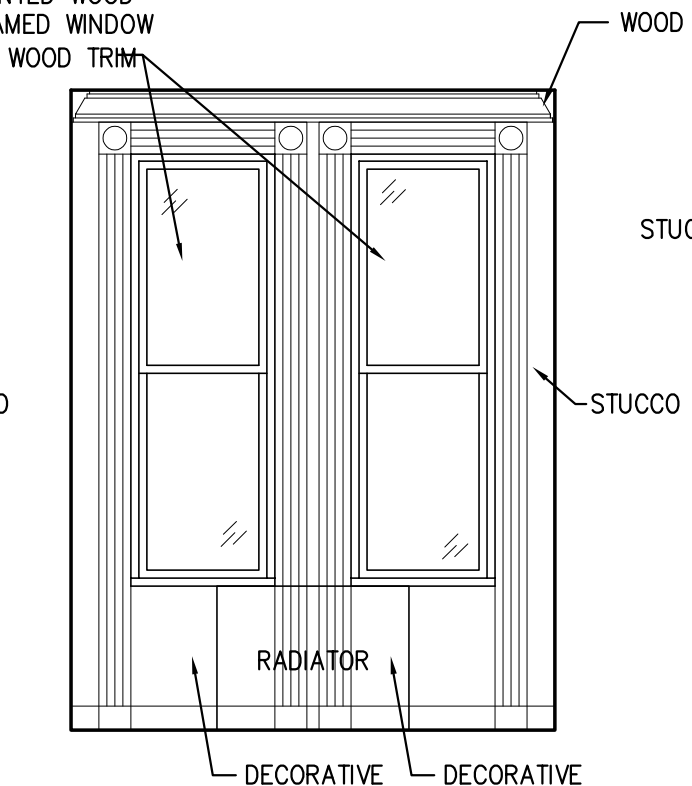
7 Drawing1  
7 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



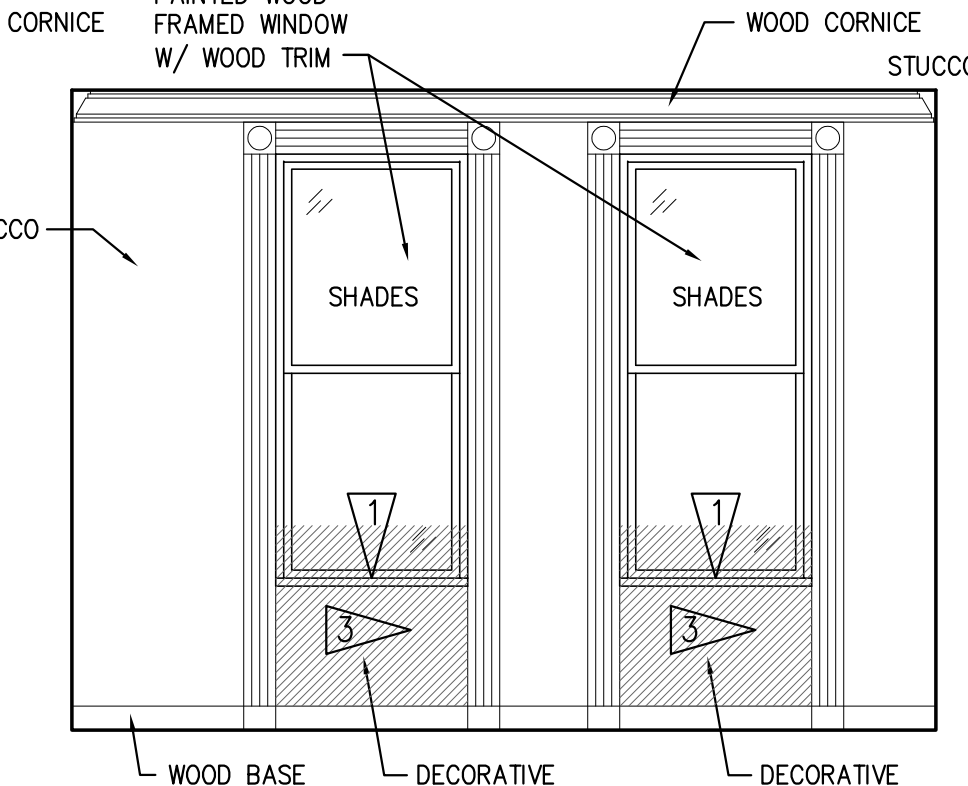
8 Drawing1  
8 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



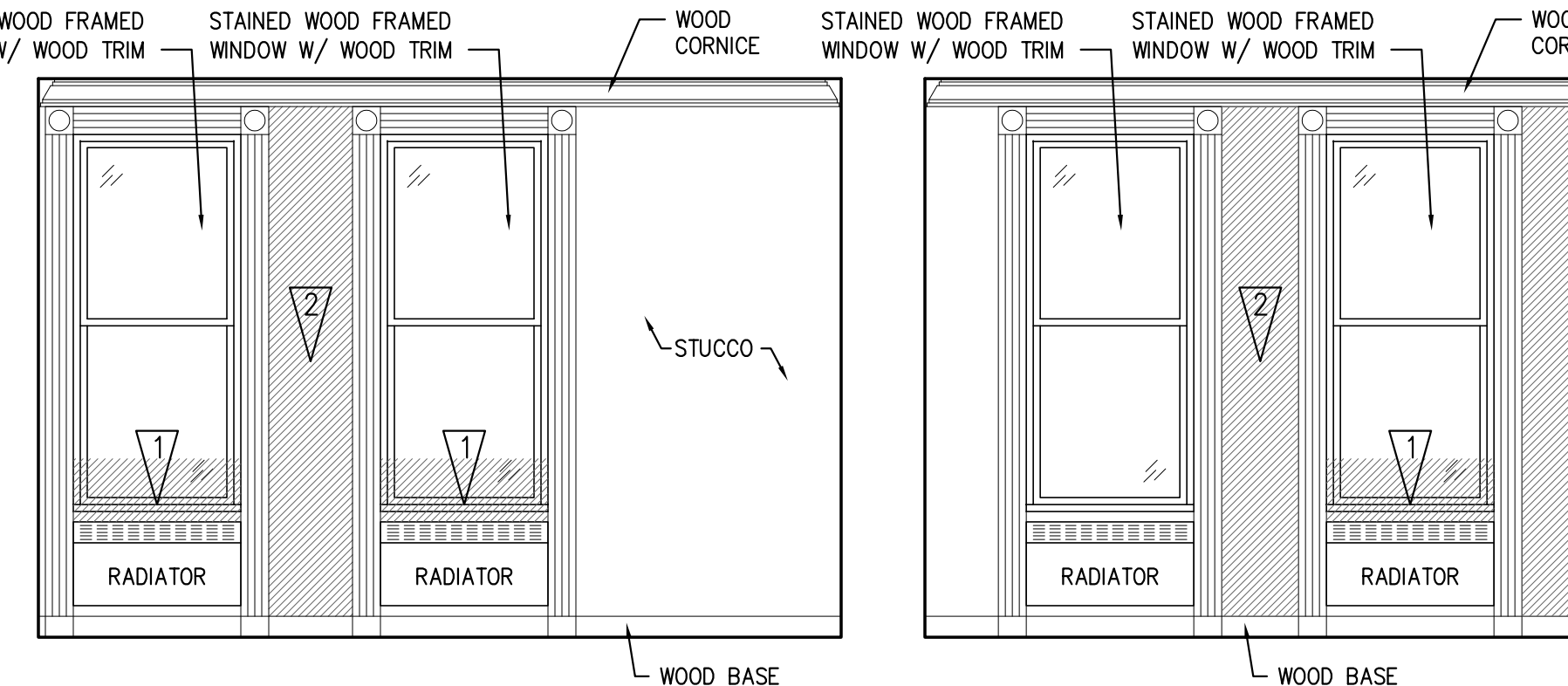
9 Drawing1  
9 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



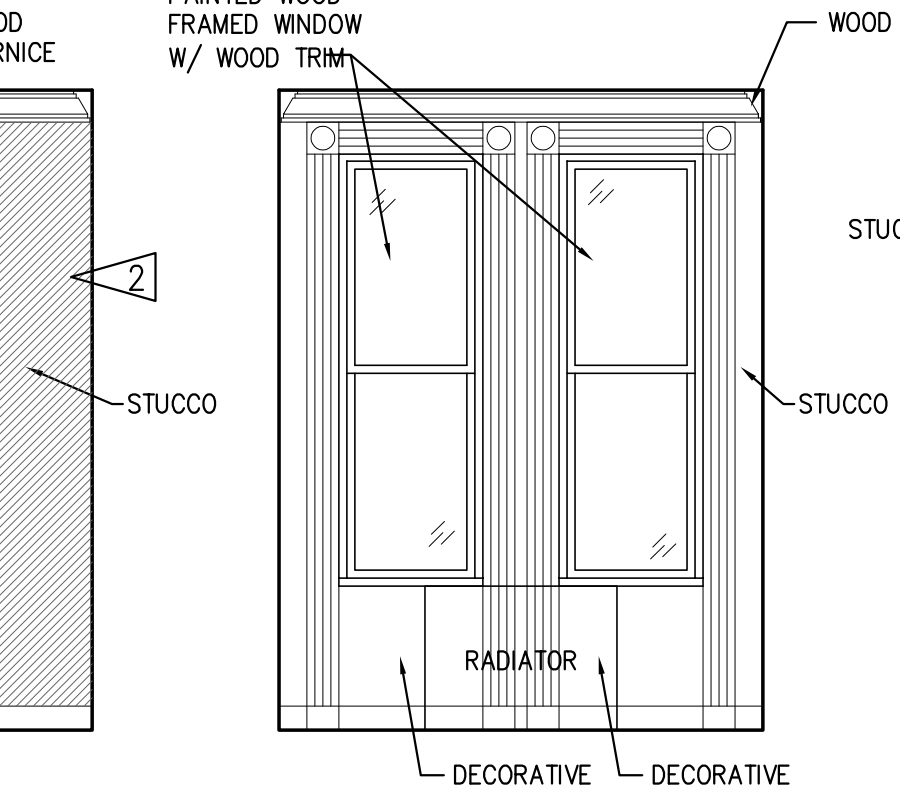
10 Drawing1  
10 INTERIOR ELEVATION - STAIRWELL  
SCALE: 1/4" = 1'-0"



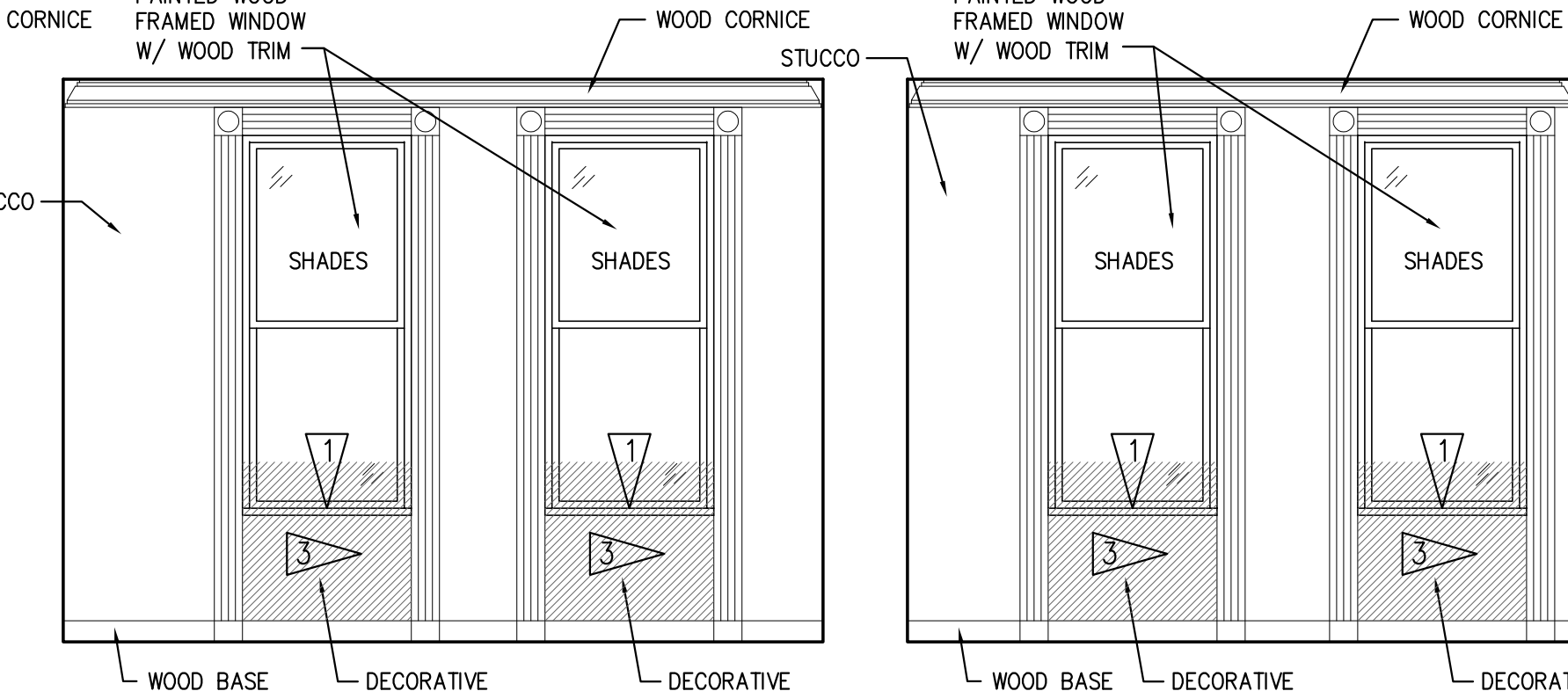
11 Drawing1  
11 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



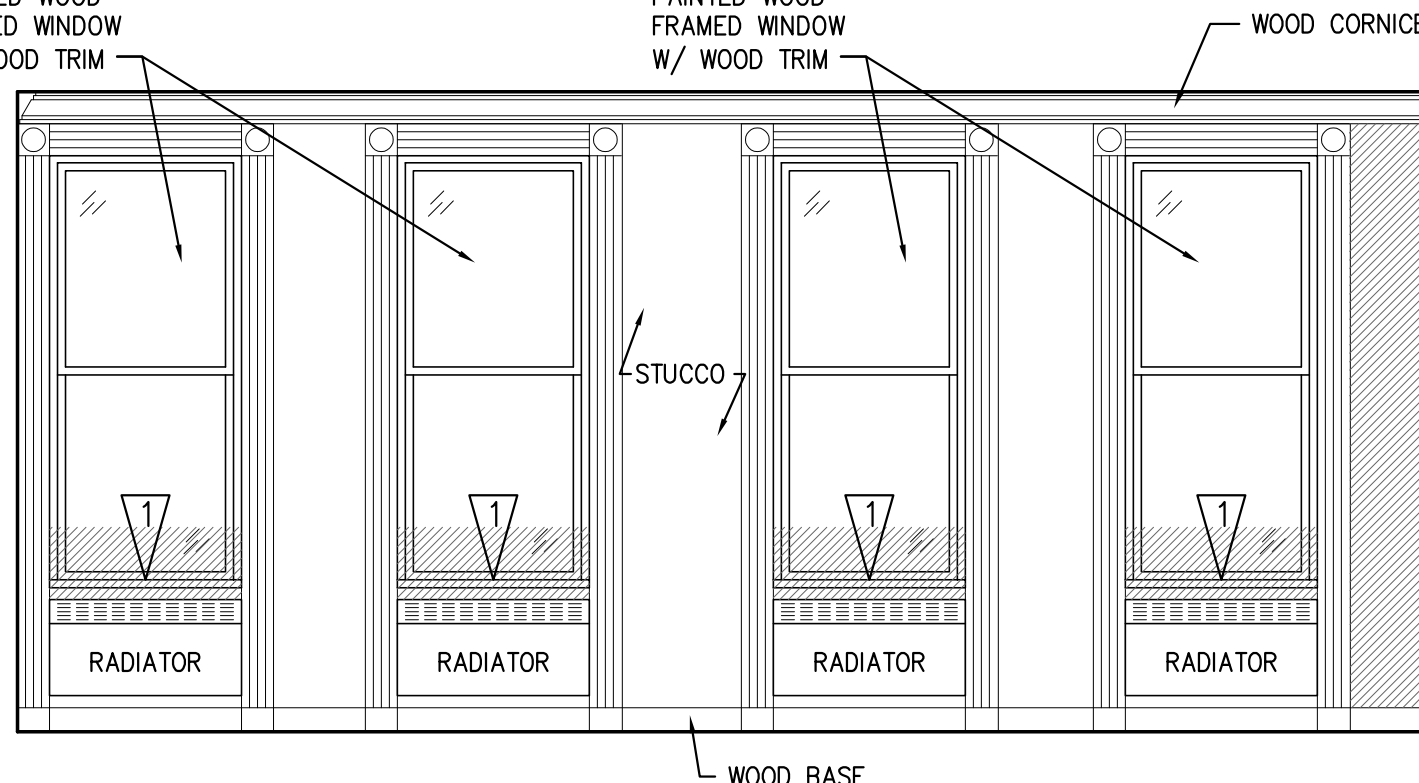
12 Drawing1  
12 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



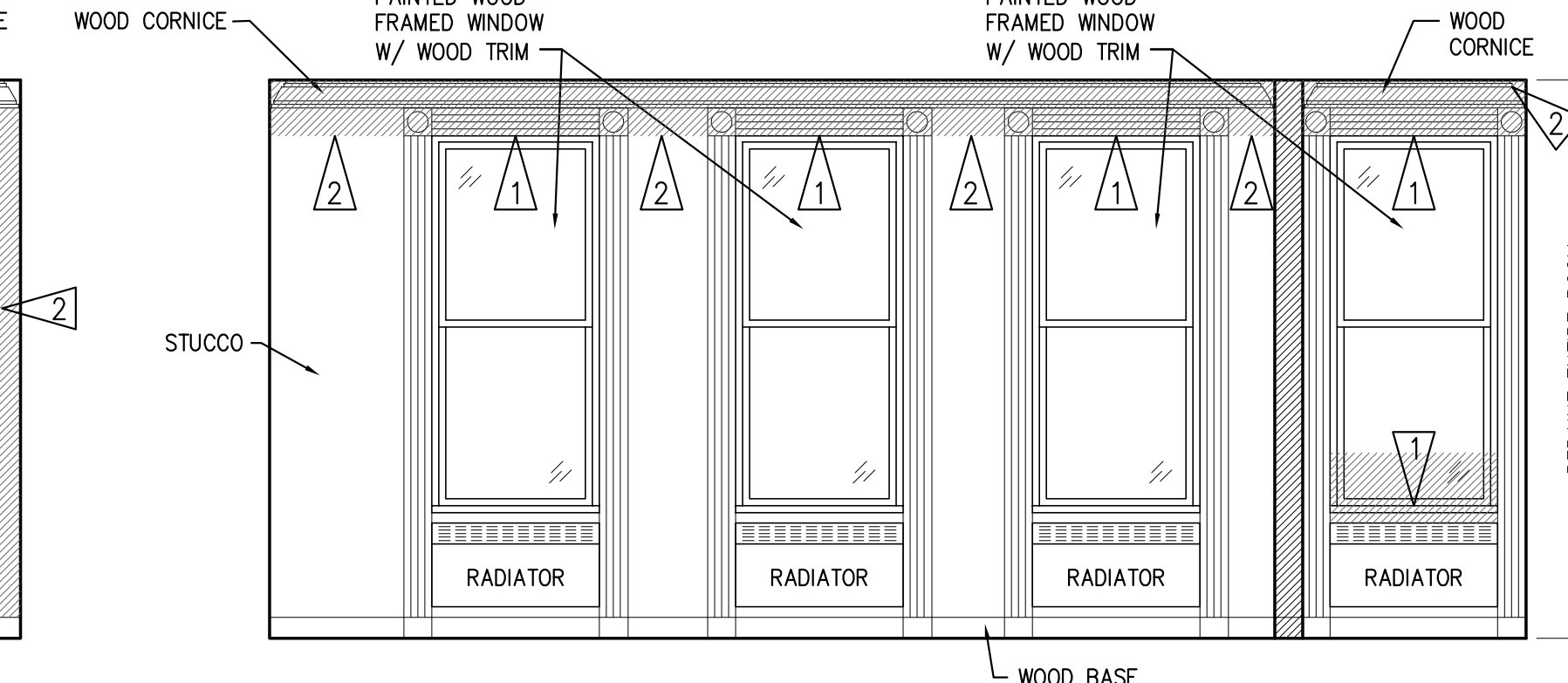
13 Drawing1  
13 INTERIOR ELEVATION - MEN  
SCALE: 1/4" = 1'-0"



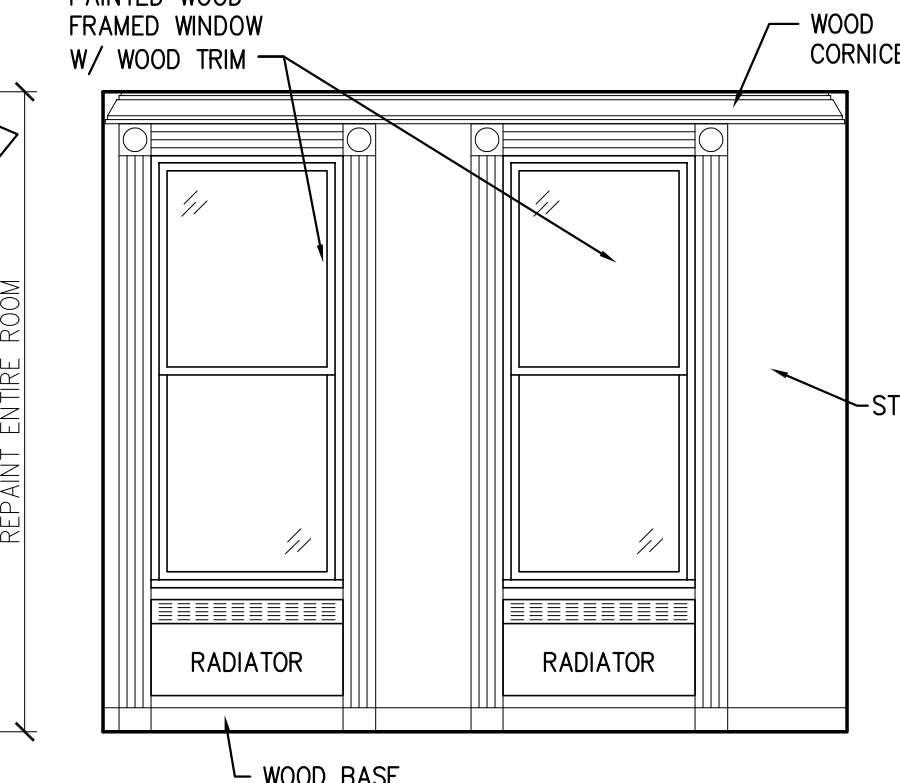
14 Drawing1  
14 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



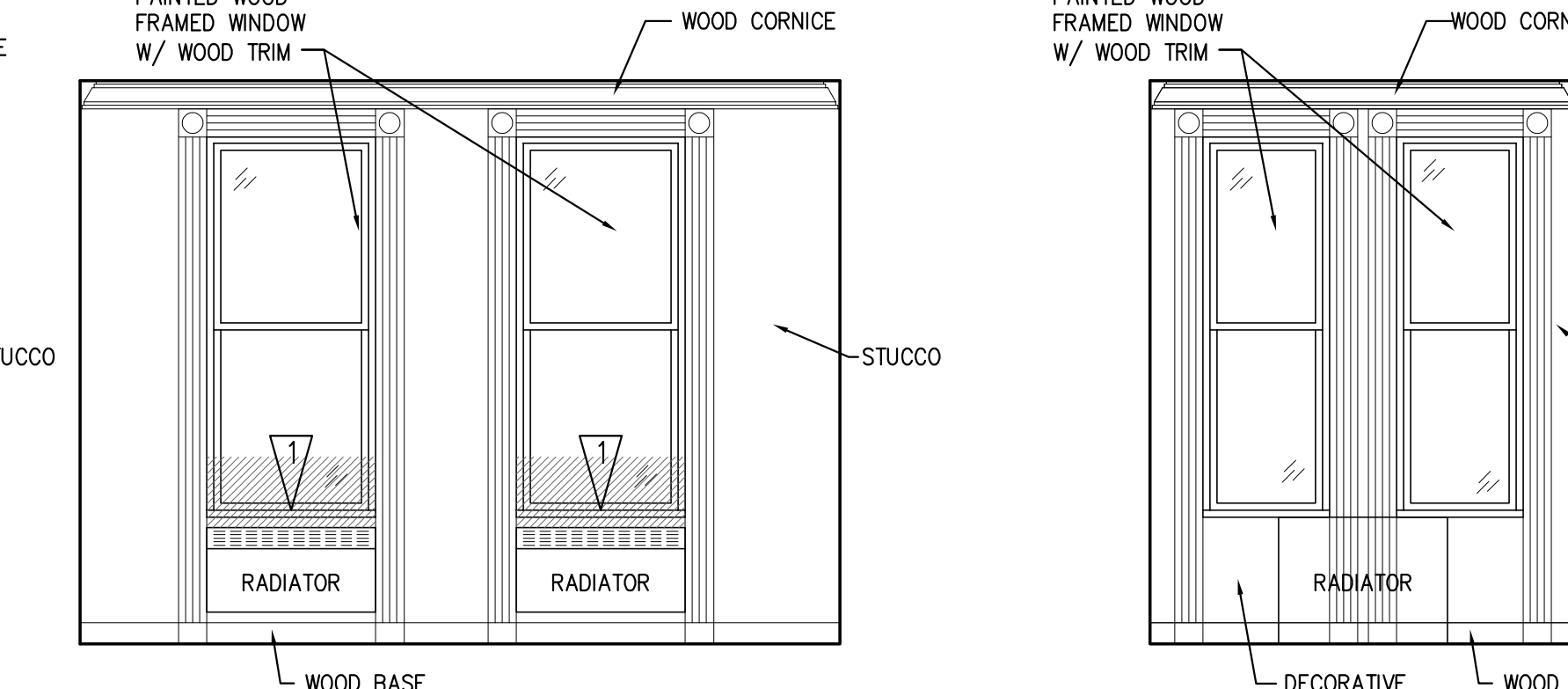
11 Drawing1  
11 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"



12 Drawing1  
12 INTERIOR ELEVATION - OFFICE  
SCALE: 1/4" = 1'-0"

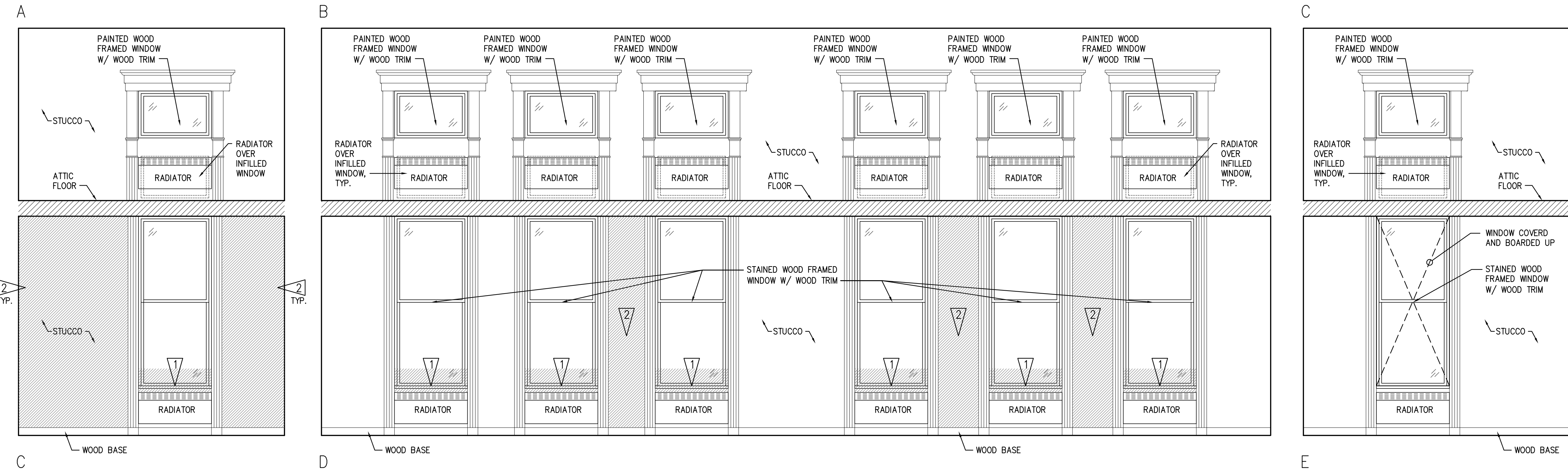


13 Drawing1  
13 INTERIOR ELEVATION - MEN  
SCALE: 1/4" = 1'-0"

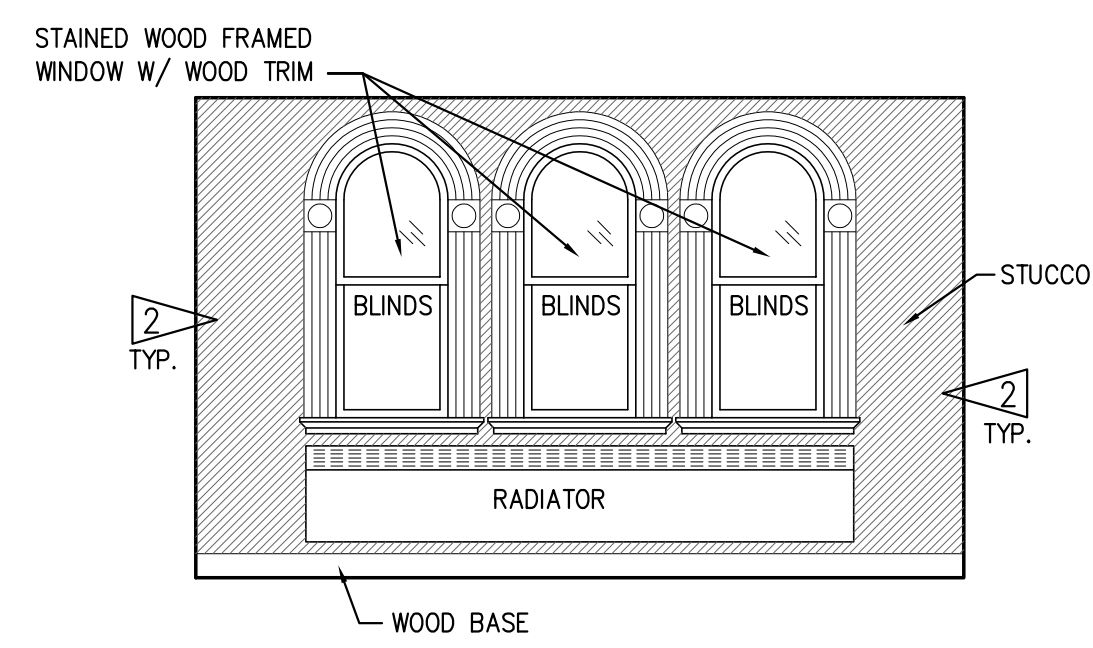


14 Drawing1  
14 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

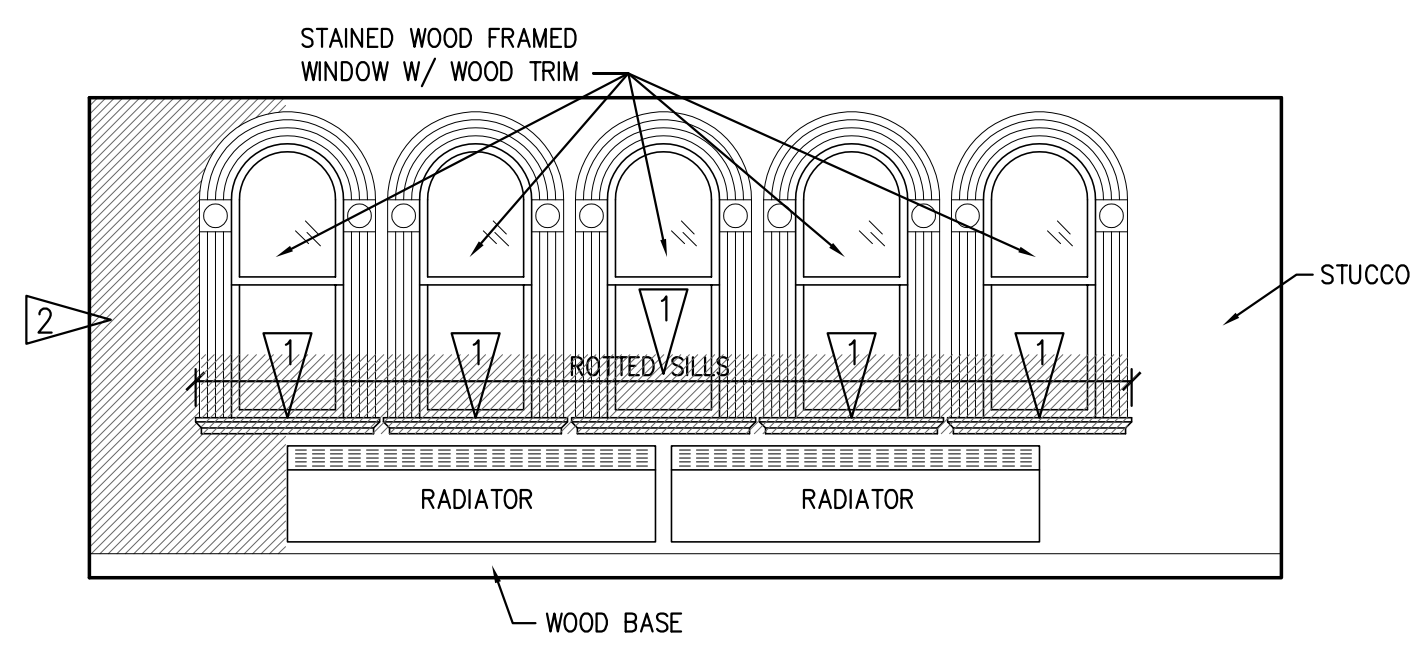
AREA OF WORK TO BE REPAIRED, INCLUDING BUT NOT LIMITED TO DAMAGED PLASTER/STUCCO WALLS, WINDOW SILLS, CASING & TRIM. SEE SHEET A2.4 FOR GENERAL NOTES & KEY NOTES.



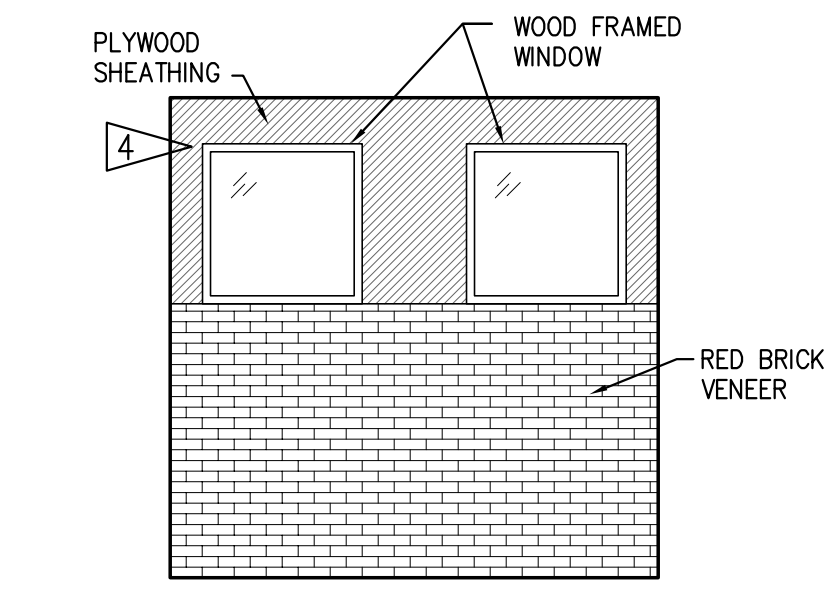
1 INTERIOR ELEVATION - OPEN OFFICE/STUDIO & MEZZANINE  
Drawing1 SCALE: 1/4" = 1'-0"



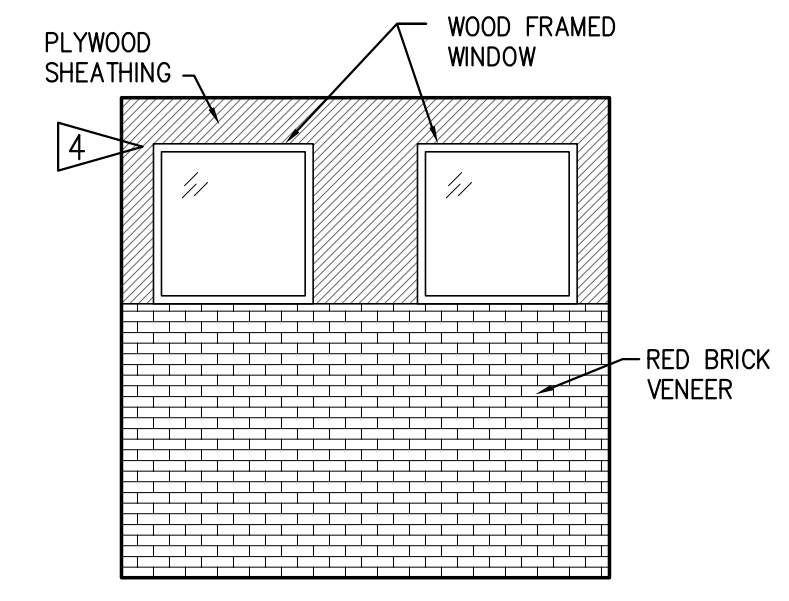
2 INTERIOR ELEVATION - OFFICE  
Drawing1 SCALE: 1/4" = 1'-0"



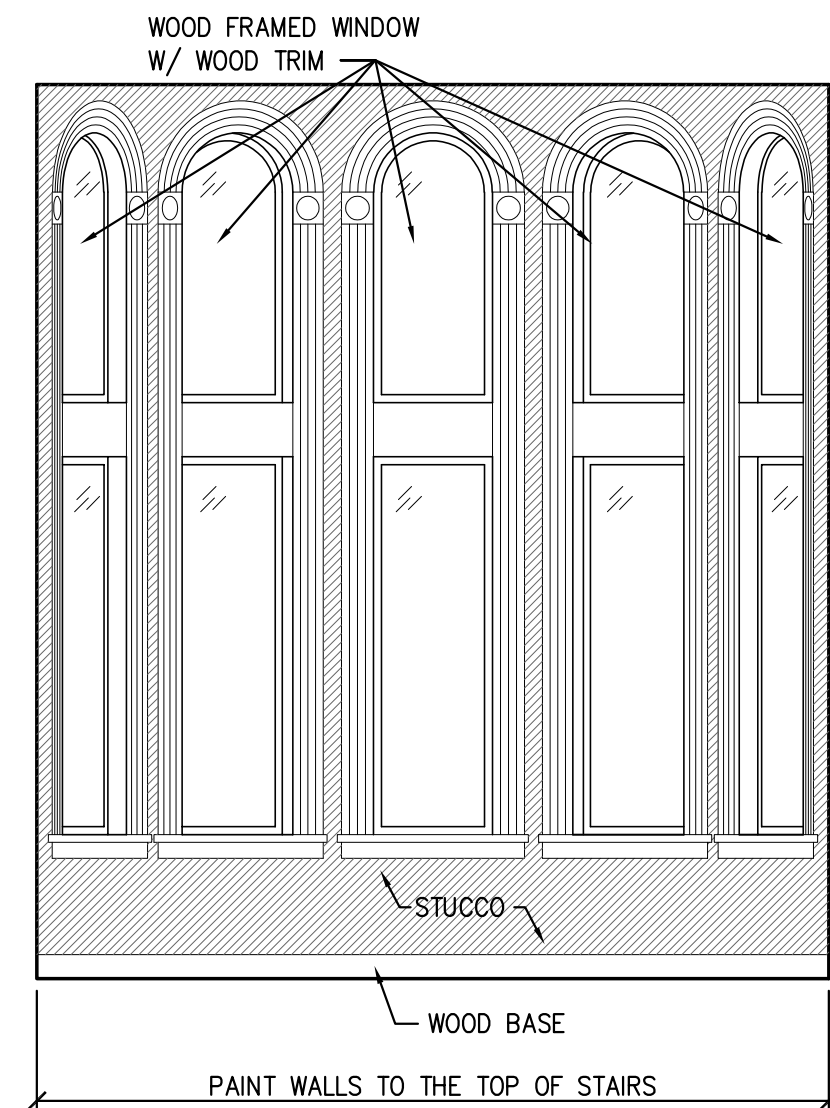
3 INTERIOR ELEVATION - OFFICE  
Drawing1 SCALE: 1/4" = 1'-0"



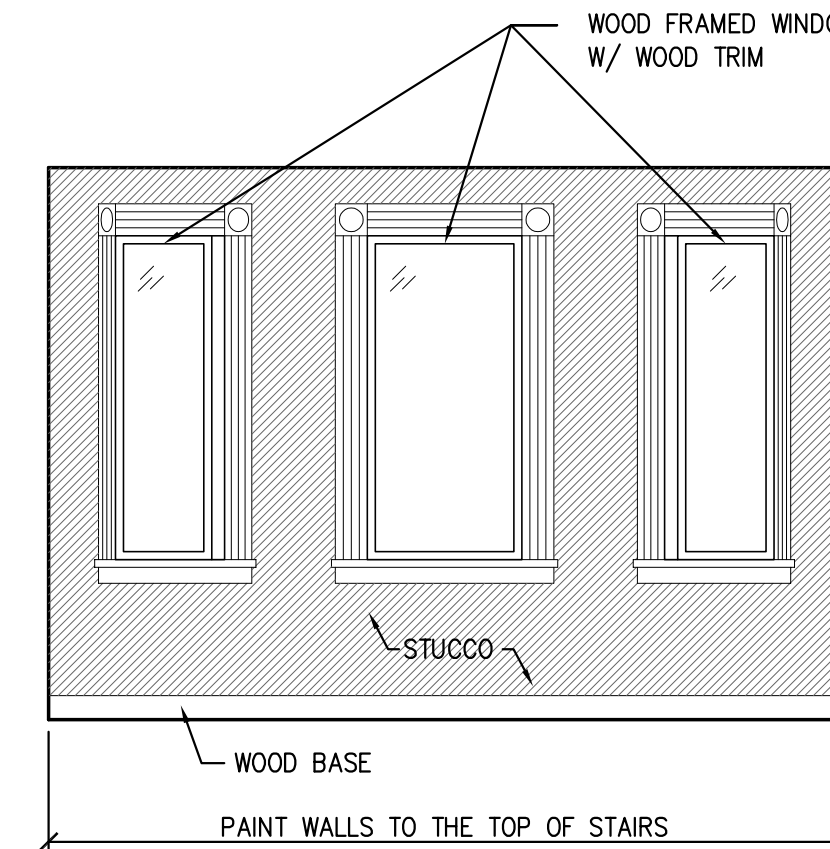
4 INTERIOR ELEVATION  
Drawing1 SCALE: 1/4" = 1'-0"



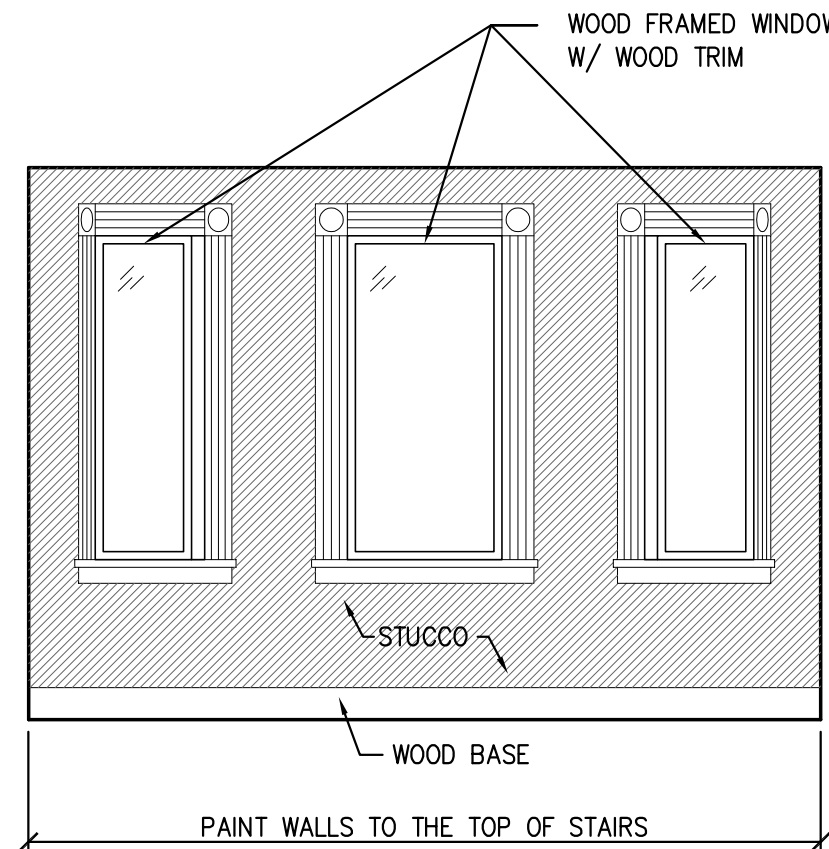
5 INTERIOR ELEVATION  
Drawing1 SCALE: 1/4" = 1'-0"



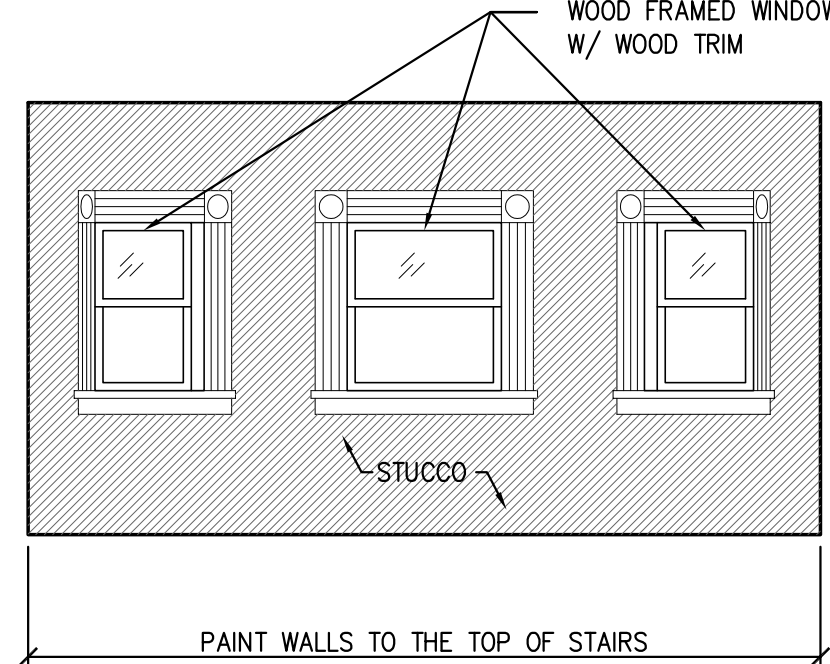
6 INTERIOR ELEVATION-STAIRWELL  
Drawing1 SCALE: 1/4" = 1'-0"



7 INTERIOR ELEVATION-STAIRWELL  
Drawing1 SCALE: 1/4" = 1'-0"



8 INTERIOR ELEVATION-STAIRWELL  
Drawing1 SCALE: 1/4" = 1'-0"



9 INTERIOR ELEVATION-STAIRWELL  
Drawing1 SCALE: 1/4" = 1'-0"

AREA OF WORK TO BE REPAIRED, INCLUDING BUT NOT LIMITED TO DAMAGED PLASTER/STUCCO WALLS, WINDOW SILLS, CASING & TRIM.

**GENERAL NOTES:**

- ALL INTERIOR ELEMENTS ARE EXISTING UNLESS NOTED OTHERWISE.
- ALL WINDOW SILLS TO BE CLEANED, SANDED AND FINISHED (STAINED OR PAINTED) TO MATCH EXISTING. WINDOW SILLS TO BE REPLACED IF DAMAGED OR ROTTED AS INDICATED.
- WHERE REPAIR AT EXISTING WINDOW SILLS, CASING OR TRIM IS REQUIRED, THE CONTRACTOR SHALL SAND, PREP AND FINISH (STAIN OR PAINT) ALL SILLS, CASING & TRIM TO MATCH EXISTING. PROVIDE NEW WHERE REQUIRED. ASSUME 200 LF OF SILLS, 400 LF OF CASING AND 400 LF OF TRIM. NEW SILLS, CASING & TRIM SHALL MATCH EXISTING WOOD SPECIES, COLOR AND PROFILE.
- AT INTERIOR WALLS WHERE REPAIR OCCURS, PAINT ENTIRE WALL FROM CORNER TO CORNER. MATCH EXISTING PAINT COLOR.

**KEY NOTES:**

- CONTRACTOR SHALL REMOVE EXISTING SILL, CASING AND TRIM. PROVIDE REPAIRS AND PROVIDE NEW AS REQUIRED. SAND, PREP AND FINISH (STAIN OR PAINT) TO MATCH EXISTING AND REINSTALL.
- REMOVE DAMAGED STUCCO TO EXPOSE EXISTING SUBSTRATE. REMOVE EXISTING WOOD BASE AND/OR EXISTING WOOD CORNICE AS REQUIRED TO PERFORM WORK. STORE FOR REINSTALLATION. PROVIDE NEW STUCCO TO MATCH EXISTING FINISH & TEXTURE. PREP, PRIME AND PAINT ENTIRE WALL WHERE REPAIR OCCURS. COLOR TO MATCH EXISTING. REINSTALL EXISTING WOOD BASE AND/OR EXISTING WOOD CORNICE.
- REMOVE EXISTING WAINSCOT AND EXISTING WOOD BASE AND STORE FOR REINSTALLATION. REMOVE DAMAGED STUCCO TO EXPOSE EXISTING SUBSTRATE. PROVIDE NEW STUCCO TO MATCH EXISTING FINISH & TEXTURE. PREP, PRIME AND PAINT ENTIRE WALL WHERE REPAIR OCCURS. REINSTALL EXISTING WAINSCOT & EXISTING WOOD BASE.
- REMOVE DAMAGED PLYWOOD TO EXPOSE EXISTING SUBSTRATE. PROVIDE NEW TO MATCH EXISTING.

THIS AREA: REPLACE ALL STUCCO, WINDOW SILLS, CASING, TRIM AND WOOD BASE COMPLETE.

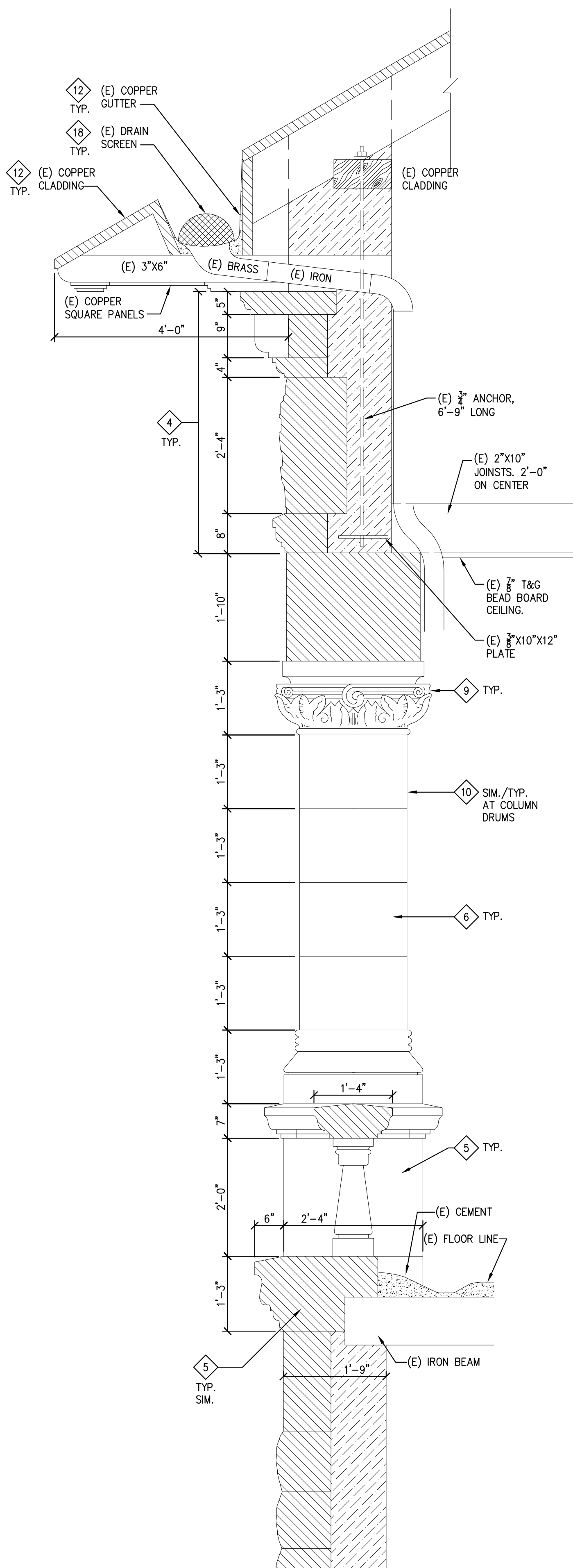
1 TYP.  
2 TYP.

3954 REGISTERED ARCHITECT  
STEVEN A. BARNES  
STATE OF WASHINGTON

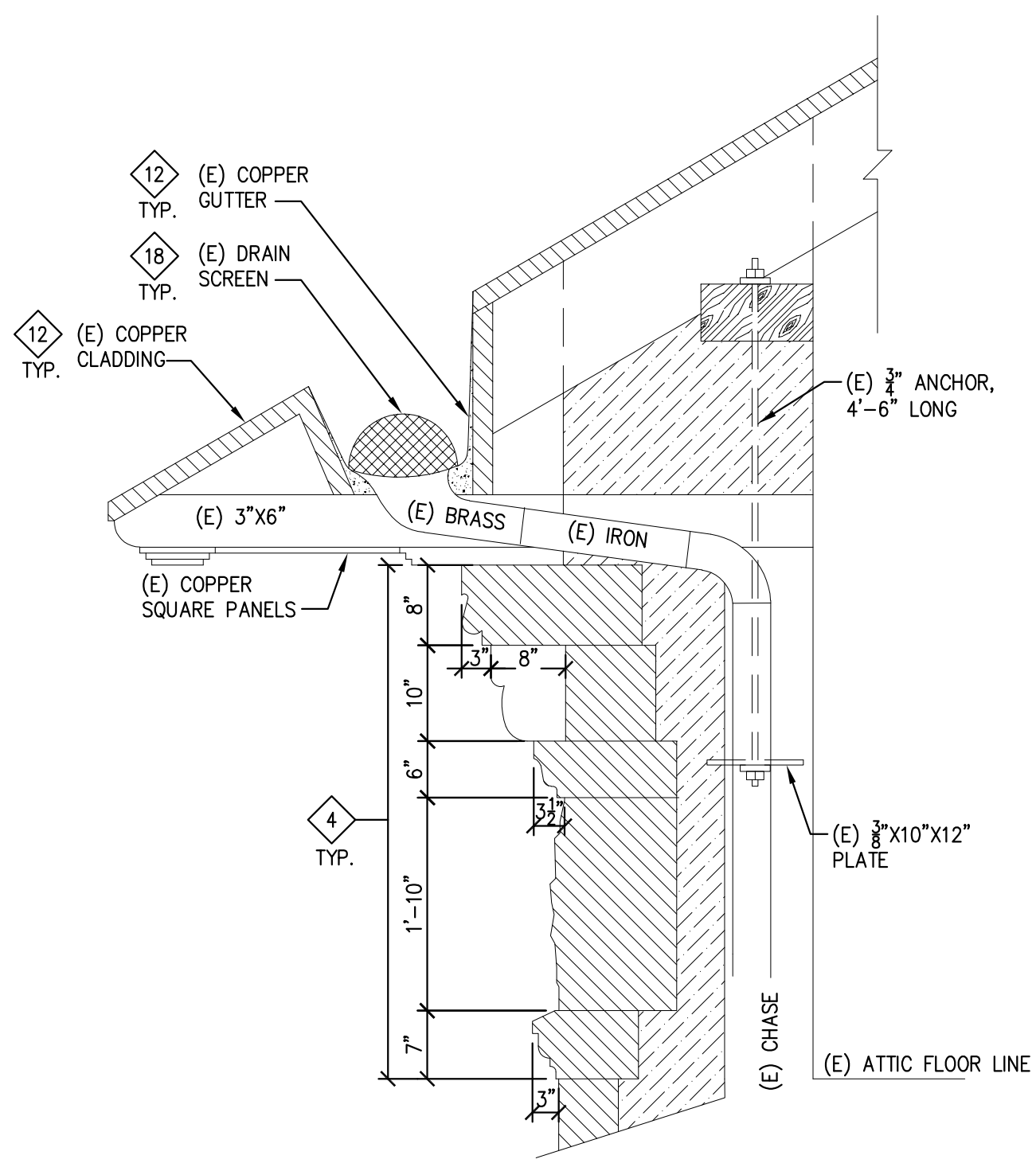




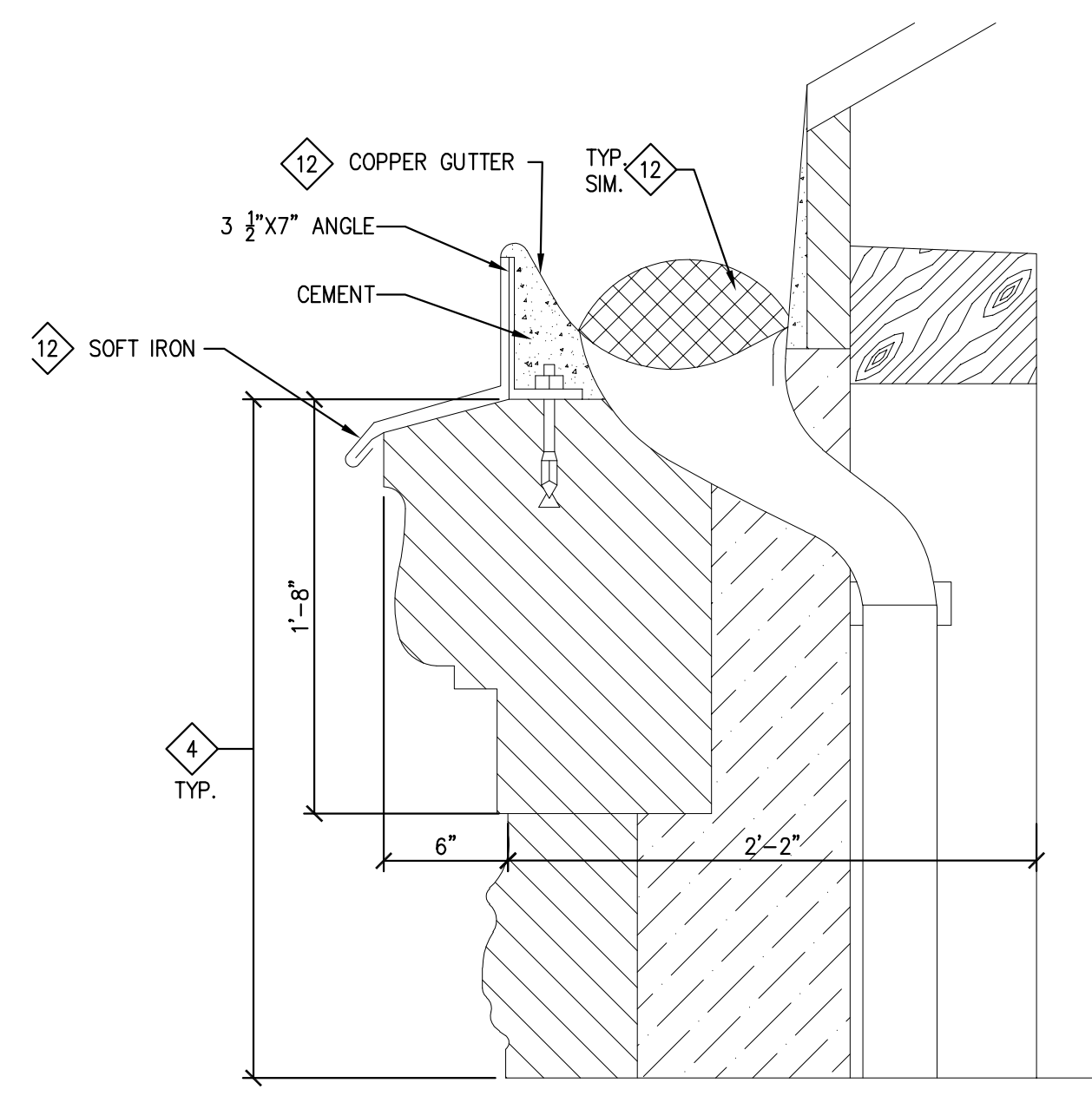
NOTE:  
SEE SHEET A1.0 FOR ELEVATION NOTE TAGS



10 SECTION AT COLUMN  
A7009 SCALE: 3/4" = 1'-0"



11 GUTTER AT MAIN ROOF  
A7009 SCALE: 3/4" = 1'-0"



12 GUTTER AT UPPER ROOFS  
A7009 SCALE: 1 1/2" = 1'-0"

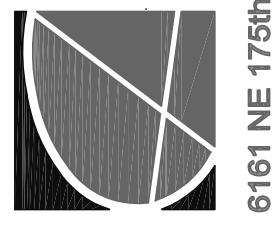
3954 REGISTERED ARCHITECT  
STEVEN A. BARNES  
STATE OF WASHINGTON

A3.1 GUTTER DETAILS  
Scale: 1/8" = 1'-0" Date: 07/30/2021  
Project: 282007  
USPS File Number: --

UNITED STATES  
POSTAL SERVICE

PORT TOWNSEND POST OFFICE  
EXTERIOR & WINDOW REPAIRS  
PORT TOWNSEND, WASHINGTON

Copyright 2006-2009, United States Postal Service



Cornerstone  
ARCHITECTURAL GROUP  
6161 NE 175th Street, Suite 101  
Kenmore, Washington 98028  
cornerstonearch.com  
Phone: 206.882.5000

Facilities, 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861



1 SPALLING AT SILL FACE  
SCALE: NTS



2 SPALLING FACE  
SCALE: NTS



3 SPALLING AT FRONT ENTRY  
SCALE: NTS



4 SPALLING FACE  
SCALE: NTS



5 SPALLING AT WINDOW JAMB  
SCALE: NTS



6 SPALLING AT WINDOW JAMB  
SCALE: NTS



7 SPALLING AT WINDOW JAMB  
SCALE: NTS



8 FAILED MORTAR JOINT  
SCALE: NTS



9 FAILED FACE AT FIELD STONE  
SCALE: NTS



10 FAILING FACE AT FIELD STONE  
SCALE: NTS



11 SPALLING CORNER STONE  
SCALE: NTS



12 FAILING FACE AT FIELD STONE  
SCALE: NTS

3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
STEVEN A. BARNES  
STATE OF WASHINGTON

REF 01 REFERENCE PHOTOS  
Scale: N/A Date: 06/10/2022  
Project: 282007  
USPS File Number: ---

UNITED STATES POSTAL SERVICE

PORT TOWNSEND POST OFFICE  
EXTERIOR & WINDOW REPAIRS  
PORT TOWNSEND, WASHINGTON

Cornerstone ARCHITECTURAL GROUP  
6161 NE 175th Street, Suite 101  
Kenmore, Washington 98028  
cornerstonearch.com  
Phone: 206.882.5000

Copyright 2006-2009, United States Postal Service

Facilities, 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861



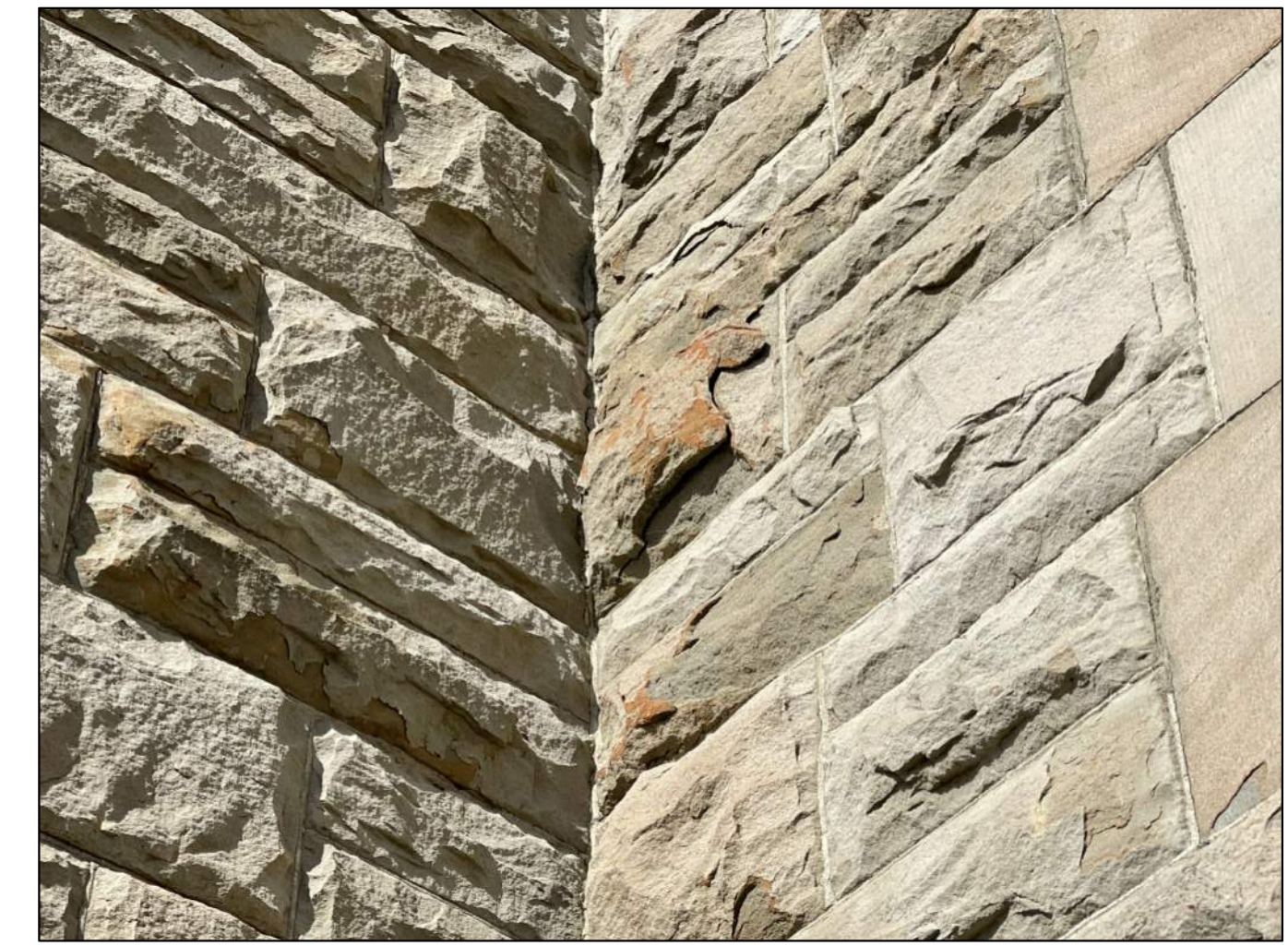
1 PREVIOUS PATCH AT JAMB  
SCALE: NTS



2 PREVIOUS PATCH AT WATER TABLE  
SCALE: NTS



3 SPALLING AT COLUMN BASE  
SCALE: NTS



4 LOOSE FACE HIGH ON WALL  
SCALE: NTS



5 CRUMBLING COLUMN PROFILE  
SCALE: NTS



6 FALLEN STONE FRAGMENTS ON STAIRS  
SCALE: NTS



7 SPALLING SILL FACE  
SCALE: NTS



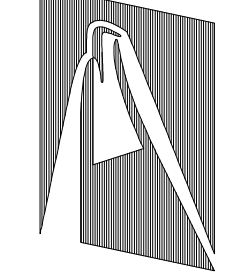
8 FAILED MORTAR JOINT  
SCALE: NTS



9 FAILED FACE AT FIELD STONE  
SCALE: NTS

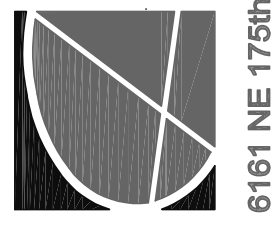
3954 REGISTERED ARCHITECT  
*Steven A. Barnes*  
STEVEN A. BARNES  
STATE OF WASHINGTON

REF 02 REFERENCE PHOTOS  
Scale: N/A Date: 06/10/2022  
Project: 282007  
USPS File Number: ---



UNITED STATES POSTAL SERVICE  
PORT TOWNSEND POST OFFICE  
EXTERIOR & WINDOW REPAIRS  
PORT TOWNSEND, WASHINGTON

Copyright 2006-2009, United States Postal Service



Cornerstone ARCHITECTURAL GROUP  
6161 NE 175th Street, Suite 101  
Kenmore, Washington 98028  
Phone: 206.882.5000  
cornerstonearch.com

Facilities, 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861