

ABBREVIATIONS

A	A.C.T.	ACOUSTIC CEILING TILE FINISH	FBGL	FIBERGLASS FINISH	P.S.F.	POUNDS PER SQUARE FOOT FINISH	UTL.	UTILITIES
A.D.	AREA DRAIN	FN, FLR.	FINISH FLOOR	P.S.I.	POUNDS PER SQUARE INCH	V.	VINYL	
A.F.F.	ABOVE FINISH FLOOR	P.T.R.	PAPER TOWEL RECEPTACLE	P.T.D.	PAPER TOWEL DISPENSER	V.B.	VINYL BASE	
A.M.P.	ACOUSTICAL WALL PANEL	P.V.C.	POLYVINYLCHLORIDE	P.W.C.	PAPER WOOD	V.C.T.	VINYL COMPOSITION TILE	
A.C. DR.	ACCESS DOOR	P.W.T.	PARALLEL WALL TILE	P.H.W.	PANEL	V.S.R.	VINYL STAIR RISERS	
A.C. PL.	ACCESS PANEL	P.F.T.	PARTIAL PARTITION	P.L.	PLASTER	V.S.T.	VINYL STAIR TREADS	
ACCESS.	ACCESSIBLE	PARTN.	PARTITION	P.LAS.	PLASTER	V.T.	VINYL TILE	
ADJ.	ADJUSTABLE	PC.	PIECE	P.LB.G.	PLUMBING	V.T.S.	VINYL TRANSITION STRIPS	
AGG.	AGGREGATE	PERM.	PERMETTER	P.L.W.	PLYWOOD	VERT.	VERTICAL	
ALT.	ALTERNATE or ALTERNATIVE	PL.	PLATE or PROPERTY LINE	P.N.C.	PAINTED	VEST.	VESTIBULE	
ALUM.	ALUMINUM	PLAS.	PLASTER	PRECAST.	PRECAST	W	WIDTH	
ANOD.	ANODIZED	P.LB.G.	PLUMBING	PREFAB.	PREFABRICATED	W.	WHITE BOARD	
APPROX.	APPROXIMATELY	PL.H.W.	PANEL	PREFIN.	PREFINISHED	W.	WITH	
ARCH.	ARCHITECTURAL or ARCHITECT	P.N.C.	PAINTED	PROP.	PROPERTY	W/O	WITHOUT	
ASPH.	ASPHALT	PO.CT.	PORCELAIN TILE	PRECAST.	PRECAST	W/T.	WINDOW TREATMENT	
ATTN.	ATTENTION	POL.	POLISHED	PREFAB.	PREFABRICATED	W/W.P.	W/ WOOD	
B		PORT.	PORTABLE	PREFIN.	PREFINISHED	W.	WITH	
B.F.F.	BELOW FINISH FLOOR	PR.	PORT	PROP.	PROPERTY	W/O	WITHOUT	
B.O.	BOTTOM OF	PRECAST.	PRECAST	PREFAB.	PREFABRICATED	W/W.P.	W/ WOOD	
B.O.C.	BOTTOM OF CONCRETE or CURB	PREFIN.	PREFINISHED	PREFIN.	PREFINISHED	W.	WITH	
B.O.F.	BOTTOM OF FOOTING	PT.	PAINT or PAINTED	PREFIN.	PREFINISHED	W/O	WITHOUT	
B.U.R.	BUILT UP ROOFINGS	GR.	GRADE	PREFIN.	PREFINISHED	W/O	WITHOUT	
BD.	BOARD	GND.	GROUND	PREFIN.	PREFINISHED	W/O	WITHOUT	
BL	BUILDING LINE	GR.	GRADE	PREFIN.	PREFINISHED	W/O	WITHOUT	
B.L.G.S.	BUILDING BLOCK	G.S.	GROUT	PREFIN.	PREFINISHED	W/O	WITHOUT	
B.L.K.G.	BLOCKING	G.Y.B.D.	GYPSON BOARD	PREFIN.	PREFINISHED	W/O	WITHOUT	
BM	BEAM	H.	HIGH	PREFIN.	PREFINISHED	W/O	WITHOUT	
BO.TT.	BOTTOM	H.B.	HOSE BIBB	PREFIN.	PREFINISHED	W/O	WITHOUT	
BR.	BLOCK	H.C.	HOLLOW CORE	PREFIN.	PREFINISHED	W/O	WITHOUT	
BR.G.	BEARING	H.M.	HOLLOW METAL	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.		H.P.	HIGH POINT	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.B.	CATCH BASIN	H.V.A.C.	HEATING, VENTILATING AND AIR CONDITIONING	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.C.	CORNER GUARD	HD.	HEAD	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.J.	CONTROL JOINT	H.D.C.P.	HANDICAP	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.M.P.	CORRUGATED METAL PIPE	H.H.W.	HARDWARE	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.M.	CONCRETE MASONRY UNIT	H.W.D.	HARDWOOD	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.C.	CLEAN OUT	H.N.R.	HANDRAIL	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.T.	CERAMIC TILE	H.O.R.I.Z.	HORIZONTAL	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.T.B.	CERAMIC TILE BASE	H.H.	HOUR	PREFIN.	PREFINISHED	W/O	WITHOUT	
C.Y.	CURB YARD	H.T.	HEIGHT	PREFIN.	PREFINISHED	W/O	WITHOUT	
CAB(S)	CABINET(S)	I.	INSIDE DIAMETER	PREFIN.	PREFINISHED	W/O	WITHOUT	
CEM.	CEMENT	IN.	INFORMATION	PREFIN.	PREFINISHED	W/O	WITHOUT	
CFG	CONTRACTOR FINISHED	INSUL.	INSULATION	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONTRACTOR INSTALLED		INT.	INTERIOR	PREFIN.	PREFINISHED	W/O	WITHOUT	
CH.R.	CHAIR RAIL	INT.	INTERIOR	PREFIN.	PREFINISHED	W/O	WITHOUT	
CL or CL.C.	CENTER LINE	INT.	INTERIOR	PREFIN.	PREFINISHED	W/O	WITHOUT	
CL.C.	CEILING	JAN.	JANITOR CLOSET	PREFIN.	PREFINISHED	W/O	WITHOUT	
CL.C.	CLOSET	JST.	JOIST	PREFIN.	PREFINISHED	W/O	WITHOUT	
CL.R.	COLUMN	JT.	JOINT	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONC.	CONCRETE	K.	KITCHEN	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONF.	CONFERENCE	K.	KITCHEN	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONNECTION		K.	KITCHEN	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONST.	CONSTRUCTION	K.	KITCHEN	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONT.	CONTINUOUS or CONTINUE	L.	LINEAR FEET or LINEAR FOOT	PREFIN.	PREFINISHED	W/O	WITHOUT	
CONTR.	CONTRACTOR	L.L.H.	LONG LEG HORIZONTAL	PREFIN.	PREFINISHED	W/O	WITHOUT	
CPT.	CARPET	L.L.V.	LONG LEG VERTICAL	PREFIN.	PREFINISHED	W/O	WITHOUT	
CP.T.	CARPET TILE	L.P.	LOW POINT	PREFIN.	PREFINISHED	W/O	WITHOUT	
CR.R.	CRASH RAIL	L.A.M.	LAMINATE or LAMINATED	PREFIN.	PREFINISHED	W/O	WITHOUT	
CSK.	COUNTERSINK OR COUNTERSUNK	L.A.V.	LAMINATE or LAMINATED	PREFIN.	PREFINISHED	W/O	WITHOUT	
D		L.K.R.	LOCKER	PREFIN.	PREFINISHED	W/O	WITHOUT	
D.	DEEP or DEPTH	L.K.R.	LOCKER	PREFIN.	PREFINISHED	W/O	WITHOUT	
D.S.	DOWNSPOUT	L.K.R.	LOCKER	PREFIN.	PREFINISHED	W/O	WITHOUT	
D.T.	DRAIN TILE	L.O.C.	LOCATION	PREFIN.	PREFINISHED	W/O	WITHOUT	
DBL.	DOUBLE	L.T.	LIGHT	PREFIN.	PREFINISHED	W/O	WITHOUT	
DEG.	DEGREE	M.	MOP BASIN	PREFIN.	PREFINISHED	W/O	WITHOUT	
DET.	DETAIL	M.B.	MOP BASIN	PREFIN.	PREFINISHED	W/O	WITHOUT	
DIA.	DIAMETER	M.B.	MOP BASIN	PREFIN.	PREFINISHED	W/O	WITHOUT	
DIA.	DIAMETER	M.B.	MOP BASIN	PREFIN.	PREFINISHED	W/O </tr		

ARCHITECTURAL GRAPHIC SYMBOLS

ROOM NAME

ROOM NUMBER & NAME

REF. BAY TAG

EXTERIOR ELEVATION REFERENCE

DETAIL / CALLOUT REFERENCE

COLUMN CENTER LINE

EXISTING COLUMN CENTER LINE

REFERENCE NUMBER OF DRAWING

DRAWING TITLE

DRAWING SCALE

SHEET NUMBER OF DRAWING

MATCHLINE REFERENCE

PARTITION TYPE

KEYED NOTE SYMBOL

LIFT TAG

FURNITURE / FIXTURES / EQUIPMENT

GLAZED OPENING REFERENCE

DRAWING REVISION

FLOOR MATERIAL REFERENCE

MATERIALS LEGEND

	EARTH
	CONCRETE
	SAND
	CONCRETE MASONRY UNIT
	BRICK
	RCP INSULATION
	GRAVEL
	BATT INSULATION
	ROUGH LUMBER
	WOOD BLOCKING

GENERAL NOTES

- EXISTING CONDITIONS ARE BASED ON INFORMATION OBTAINED FROM EXISTING DRAWINGS AND FIELD SURVEY AND SHALL NOT BE CONSIDERED AS A BASIS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE FINISHED DIMENSIONS TO FACE OF GYP. BOARD, CMU WALLS, ETC., UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT AND OWNER OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL VERIFY AND BECOME FAMILIAR W/ ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING THE BUILDING AND MAINTENANCE OF DUST TRAP PARTITIONS, DAILY VACUUMING, MOPPING, FLOOR MATS AND PROVISIONS OF CLEAN FLOOR MATS AT PROJECT ENTRANCES TO PREVENT THE INFILTRATION OF DIRT AND DUST FROM THE CONSTRUCTION AREAS INTO THE OWNER OCCUPIED AREA.
- PATCH ALL FINISHES DISTURBED BY THE WORK AND WHERE UNFINISHED SURFACES HAVE BEEN EXPOSED BY DEMOLITION, PATCHING MUST MATCH ADJACENT MATERIALS, COLORS AND FINISHES.
- RESTORE OR REPLACE ALL EXISTING FINISHES DAMAGED BY WORK UNDER THIS CONTRACT.
- CHP, GRIND AND / OR FILL EXISTING FLOOR SLABS AS REQUIRED TO PROVIDE SMOOTH LEVEL SURFACE SUITABLE FOR APPLICATIONS OF FINISH FLOOR MATERIALS. LEVEL ALL FLOORS TO WITHIN 1/8" PER FOOT TOLERANCE MAX. INCLUDING FLOOR LEVEL DIFFERENCES THAT OCCUR BETWEEN PARTITIONS SHOWN TO BE REMOVED.
- FILL ALL DEPRESSED AREAS AND HOLES IN EXISTING CONCRETE SLABS WITH FIRE RATED NON-SHRINKING CEMENTITIOUS FILL.
- PATCH / REPAIR FLOOR SUBSTRATE WHERE PARTITIONS, FLOOR OR FINISHES HAVE BEEN REMOVED.
- PATCH / REPAIR FLOORS, BASES AND WALLS TO PROVIDE AN EVEN SUBSTRATE SUITABLE FOR APPLICATIONS OF SCHEDULED FINISHES AND AS REQUIRED BY FINISH MATERIAL MANUFACTURER.
- PATCH / REPAIR ALL GAPS, HOLES, ETC. IN ALL CORRIDOR WALLS, ABOVE CEILING TO ACHIEVE A SMOKE BARRIER.
- PLUG HOLES THROUGH FLOOR SLABS WHERE PIPES OR DUCTS HAVE BEEN REMOVED WITH FIRE RATED NON-SHRINKING GROUT. FINISH FLUSH WITH EXISTING FLOOR SLAB AND TROWEL SMOOTH. SEE MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR REMOVAL OF EXISTING PIPES, CONDUITS AND DUCTS.
- ALL PENETRATIONS IN GYPSUM BOARD PARTITIONS SHALL BE SEALED WITH ACOUSTICAL SEALANT OR FIRE RATED ASSEMBLIES WHERE REQUIRED BY THE DRAWINGS ON BOTH SIDES OF PARTITIONS.
- ALL NEW OPENINGS THROUGH EXISTING MASONRY WALL PARTITIONS SHALL BE REINFORCED WITH STEEL ANGLES AS REQUIRED, VERIFY UNTEL SIZE WITH ARCHITECT AND / OR STRUCTURAL ENGINEER.
- PROVIDE DOGLEG OFFSET IN PARTITIONS WHERE EXISTING AND / OR NEW EQUIPMENT, DUCTWORK, PIPES, ETC OCCUR TO PERMIT CONSTRUCTION OF A CONTINUOUS PARTITION TO STRUCTURE ABOVE.
- PIPE AND COLUMN FURRING SHALL BE HELD AS CLOSE TO THE PIPING AND / OR COLUMNS AS POSSIBLE. UNLESS OTHERWISE NOTED, VERIFY CONDITIONS WITH ARCHITECT.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS, DOORS AND DOOR FRAMES IN SCHEDULED ROOMS SHALL BE CLEANED, PRIMED AND PAINTED INCL. GRILLS, LOUVERS AND VENTS. PROTECT AND/OR REMOVE AND REINSTALL EXISTING DOOR HARDWARE PRIOR TO PAINTING.
- WITHIN THE PROJECT LIMITS/AREA OF WORK, PAINT ALL PLASTER, GYPSUM BOARD SURFACES, CONCRETE, CONCRETE MASONRY UNITS, STEEL, ETC. - UNLESS OTHER FINISHES ARE SCHEDULED.
- WITHIN THE PROJECT LIMITS, PAINT ALL EXPOSED NEW AND EXISTING PIPING, CONDUIT, WIRING, ELECTRICAL PANELS, DUCTWORK, EQUIPMENT ACCESS PANELS, HANGER SUPPORTS, UNISTRUT ETC TO MATCH WALL FINISHES, UNLESS OTHERWISE NOTED.
- SEE MECHANICAL DRAWINGS FOR DUCT PENETRATIONS THRU PARTITIONS AND PROVIDE REQUIRED OPENINGS. SUCH OPENINGS SHALL BE FRAMED WITH STUD TRACK AND METAL TRIM, CALK PERIMETER AFTER INSULATION OF DUCT WORK ON BOTH SIDES OR PARTITION PROVIDES FIRE RATED SEALANT AT ALL RATED PARTITIONS ON BOTH SIDES.
- ALL PENETRATIONS TO BE 2HR FIRE-RATED PER USPS MIF SPECIFICATION, SECTION 3.6.
- ALL FIXTURES & MECHANICAL SYSTEMS WITH EXISTING SERVICE AREAS WITH LIFTS AT OR BELOW 16' - 3" AFF, SHALL BE RELOCATED ABOVE 16' - 3" AFF.
- CONTRACTOR TO VERIFY INSTALLATION SEQUENCE/PREPARE SITE FOR INSTALLATION OF OWNER INSTALLED LIFT PRIOR TO INSTALLATION OF FLOORING.
- WITHIN THE PROJECT LIMITS/AREA OF WORK, PAINT ALL EXISTING BALLARDS SAFETY YELLOW TO COMPLY WITH USPS STANDARDS. CONTRACTOR TO FIELD VERIFY QUANTITY.
- CONTRACTOR TO CONFIRM EXISTING CONDITIONS ALLOW ADEQUATE CLEARANCE FOR NEW LIFTS) PRIOR TO LIFT INSTALLATION. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER OF ANY CONFLICTS PRIOR TO COMMENCING WORK.
- EGRESS PATHS MUST REMAIN CLEAR OF OBSTRUCTION AT ALL TIMES TO ENSURE SAFE EMERGENCY EXIT. ANY EXISTING EQUIPMENT OR FURNITURE WITHIN THE PATH OF TRAVEL MUST BE RELOCATED OR REMOVED. CONTRACTOR TO WORK WITH OWNER AS NEEDED TO DETERMINE RELOCATION AREA.

SHEET INDEX

SHEET NUMBER	SHEET NAME
GENERAL	
G001	COVER SHEET
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G003	LIFE SAFETY PLAN
CIVIL	
C001	GENERAL NOTES
C0100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	PROPOSED CONDITIONS
C500	DETAILS
ARCHITECTURAL	
A001	SCHEDULES
AD100	OVERALL FIRST FLOOR & MEZZANINE DEMOLITION PLAN
AD150	OVERALL FIRST FLOOR & MEZZANINE DEMOLITION REFLECTED CEILING PLAN
A100	OVERALL PROPOSED FIRST FLOOR & MEZZANINE FLOOR PLAN
A150	OVERALL PROPOSED FIRST FLOOR & MEZZANINE REFLECTED CEILING PLAN
A200	EXTERIOR ELEVATIONS
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ELECTRICAL	
E001	ELECTRICAL GENERAL INFORMATION
E5100	ELECTRICAL SITE PLAN
E0100	ELECTRICAL DEMOLITION PLAN
E100	ELECTRICAL POWER & LIGHTING PLANS
E000	ELECTRICAL ONE-LINE DIAGRAM
E001	ELECTRICAL SCHEDULES
E500	ELECTRICAL DETAILS
E501	ELECTRICAL DETAILS

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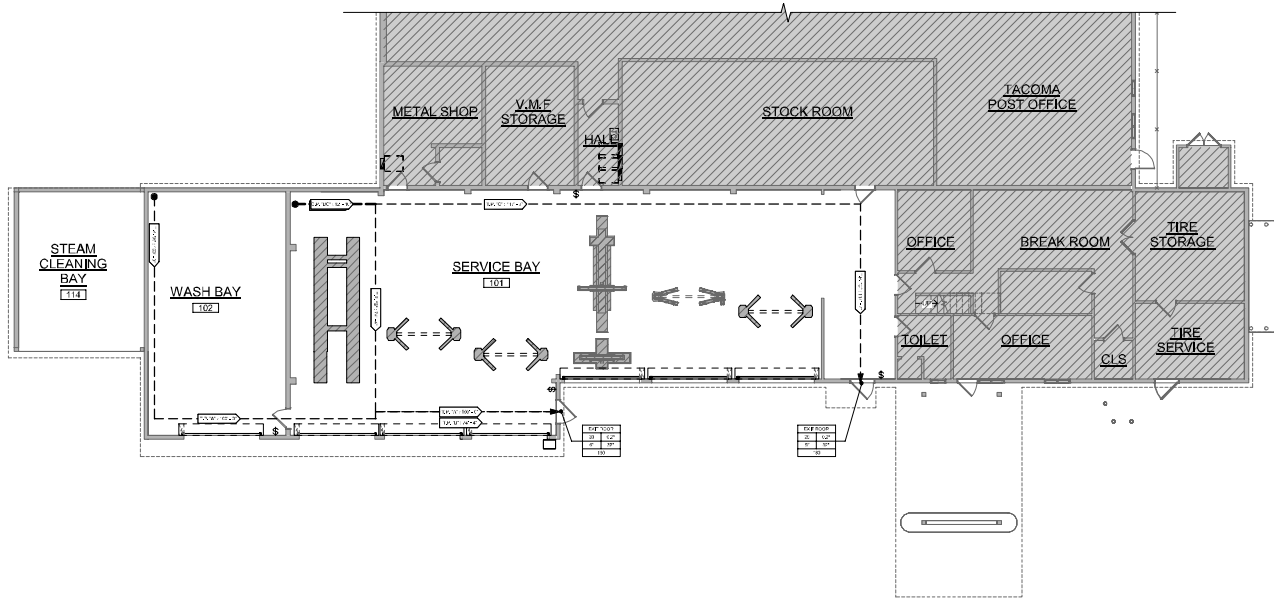
GENERAL INFORMATION
 SCALE: AS NOTED
 DATE: JAN. 26, 2024
 PROJECT: TACOMA
 USPS FIBER NUMBER: 41504

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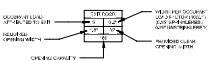
GENERAL NOTES
REFER TO G.002 FOR GENERAL NOTES

REFERENCE CODES
2023 USPS HANDBOOK AS-503 - STANDARD DESIGN CRITERIA
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL EXISTING BUILDING CODE

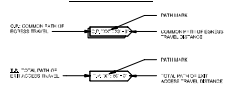
LEGEND

- NOT IN SCOPE
- COMMON PATH OF TRAVEL
- EXIT ACCESS PATH OF TRAVEL

EXIT IDENTIFICATION SYMBOL

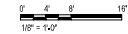


EGRESS TRAVEL PATH & DISTANCE SYMBOL



EGRESS ANALYSIS							
LENGTHS IN FEET (IF NOT STATED)							
ROOM	AREA (SQ FT)	EXIT	EXIT DISTANCE TO EXIT	EXIT TYPE	EXIT WIDTH (FEET)	EXIT LENGTH (FEET)	EXIT AREA (SQ FT)
TR	100.00	1	100.00	EXIT	10.00	10.00	100.00
SP	100.00	1	100.00	EXIT	10.00	10.00	100.00
UNASSIGNED ROOMS OR AREAS							
-	100.00	1	100.00	EXIT	10.00	10.00	100.00
-	100.00	1	100.00	EXIT	10.00	10.00	100.00
-	100.00	1	100.00	EXIT	10.00	10.00	100.00

NOTES: 1. ALL ROOMS SHALL BE PROVIDED WITH EXITS. 2. ALL EXITS SHALL BE UNLOCKED AND KEYS SHALL BE AVAILABLE AT ALL TIMES. 3. ALL EXITS SHALL BE CLEAR OF OBSTRUCTIONS. 4. ALL EXITS SHALL BE MARKED WITH EXIT SIGNS. 5. ALL EXITS SHALL BE MARKED WITH EXIT DISTANCE SIGNS. 6. ALL EXITS SHALL BE MARKED WITH EXIT WIDTH SIGNS. 7. ALL EXITS SHALL BE MARKED WITH EXIT LENGTH SIGNS. 8. ALL EXITS SHALL BE MARKED WITH EXIT AREA SIGNS.

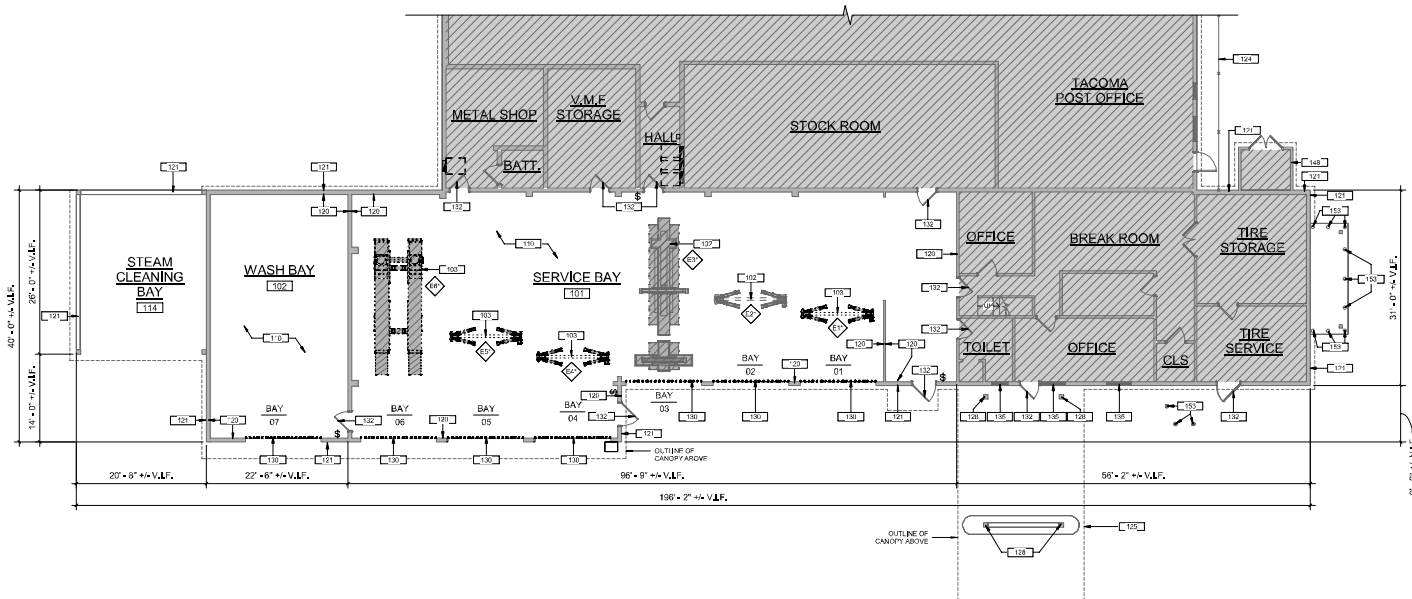


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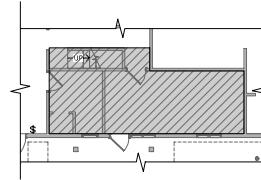
1 FIRST FLOOR LIFE SAFETY PLAN
G003 SCALE: 1/8" = 1'-0"

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 PROJECT: TACOMA
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1 OVERALL FIRST FLOOR DEMOLITION PLAN
AD100 SCALE: 1/8" = 1'-0"



2 OVERALL MEZZANINE DEMOLITION PLAN
AD100 SCALE: 1/8" = 1'-0"



DEMO GENERAL NOTES

- ITEMS BELOW APPLY TO DASHED LINES AS INDICATED ON THE DEMOLITION PLAN UNLESS OTHERWISE NOTED.
- THE BUILDING AREAS ADJACENT TO THE AREA OF CONSTRUCTION WILL REMAIN OCCUPIED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION FOR THE SAFETY AND PROTECTION OF ALL PERSONS IN THE BUILDING UNDER CONSTRUCTION FOR THE DURATION OF THE PROJECT.
 - EXISTING CONDITIONS ARE BASED ON INFORMATION OBTAINED FROM EXISTING DRAWINGS AND FIELD SURVEY AND SHALL NOT BE CONSIDERED AS "AS-BUILT". THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT THAT QUESTIONABLE ENVIRONMENTAL MATERIALS ARE SUSPECTED OR IDENTIFIED BY THE CONTRACTOR, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE THE EXTENT OF MATERIAL AND THE COURSE OF ACTION.
 - ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ELEMENTS WITHIN THE AREA OF DEMOLITION THAT ARE TO BE REMOVED, SHALL BE CUT AND CAPPED AND MADE SAFE BY A SUBCONTRACTOR TRADESMAN APPROPRIATE TO THE SCOPE PRIOR TO DEMOLITION AND REMOVAL WORK OCCURRING BY THE DEMOLITION SUBCONTRACTOR.
 - ALL DASHED PARTITIONS, WALL FURRING, SURFACE APPLIED MATERIALS OR FINISHES (I.E. WALL COVERINGS, WOOD PANELING, ETC.) PIPE AND CHASE FURRING IN INTERIOR SPACES AND AT PERIMETER WALLS SHALL BE REMOVED FULL HEIGHT INCLUDING DOORS AND FRAMES, ETC. WITHIN THE PARTITIONS.
 - REQUIREMENTS OF STRUCTURAL WORK: DO NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY OF LOAD/DEFLECTION RATIO.
 - OPERATIONAL AND SAFETY LIMITATIONS: DO NOT CUT OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN A MANNER INTENDED OR RESULTING IN A DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
 - VISUAL REQUIREMENTS: DO NOT CUT WORK WHICH IS EXPOSED ON THE EXTERIOR OR EXPOSED IN OCCUPIED SPACES OF THE BUILDING IN A MANNER RESULTING IN A REDUCTION OF VISUAL QUALITIES OR RESULTING IN SUBSTANTIAL EVIDENCE OF THE DEMOLITION WORK, JUDGED BY THE ARCHITECT TO BE CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
 - LOADING: DO NOT SUPERIMPOSE LOADS AT ANY POINT UPON EXISTING STRUCTURE BEYOND DESIGN CAPACITY INCLUDING LOADS AT RIGIBLE TO MATERIALS, CONSTRUCTION EQUIPMENT, DEMOLITION OPERATIONS AND SHORING AND BRACING.
 - VIBRATION: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD INDUCE VIBRATION INTO ANY ELEMENT OF THE STRUCTURE.
 - FIRE: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE ANY FIRE HAZARD UNLESS OTHERWISE APPROVED BY CONTRACTING OFFICER.
 - WATER: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE EXCESSIVE WATER RUNOFF, AND WATER POLLUTION.
 - AIR POLLUTION: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE UNCONTROLLED DUST, FUMES, OR OTHER DAMAGING AIR POLLUTION.

KEYNOTES LEGEND - DEMO

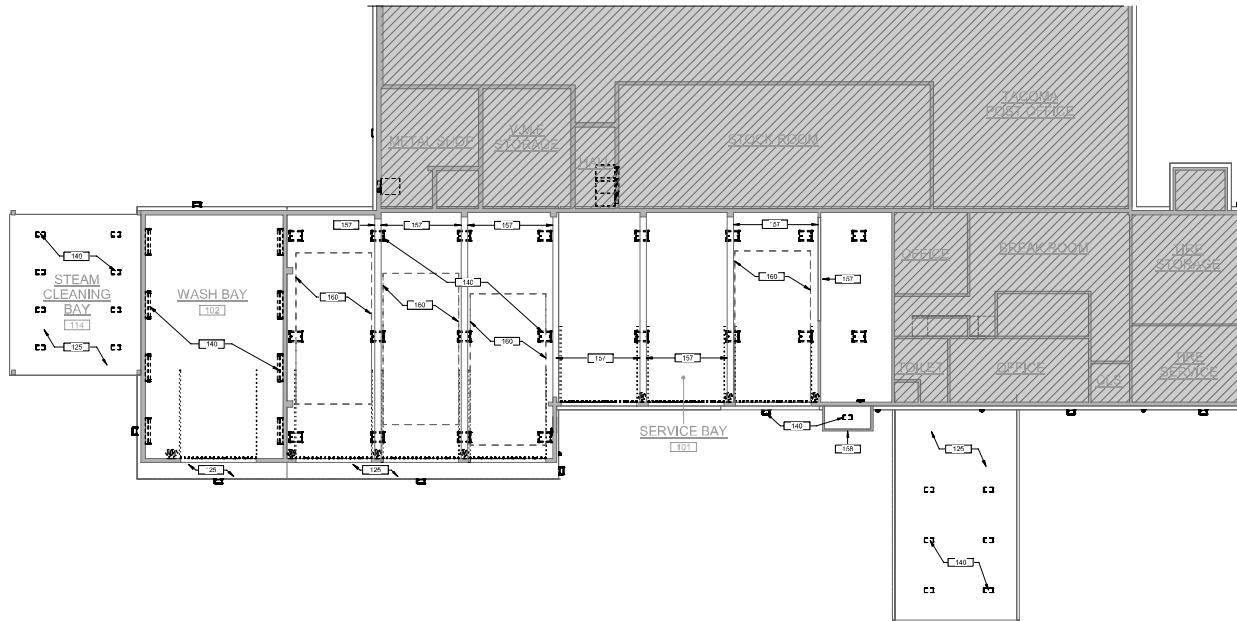
MARK	DESCRIPTION
102	EXISTING LIFT TO REMAIN, NOT IN CONTRACT (N.I.C.)
103	EXISTING LIFT TO BE REPLACED/INSTALLED BY OTHERS (N.I.C.) PATCH AND REPAIR FLOOR AS REQUIRED, CONTRACTOR TO VERIFY SEQUENCE OF CONSTRUCTION.
110	EXISTING FLOOR FINISH TO BE REMOVED, CLEAN AND PREP EXISTING CONCRETE SUBSTRATE FOR NEW FLOOR FINISH, PATCH AND REPAIR SURFACE AS REQUIRED, PRESSURE WASH/CLEAN AND DRY TRENCH DRAINING AND COVER LIDS AS REQUIRED, PREPARE EXISTING STRIPED CIRCULATION AREAS TO RECEIVE NEW FINISH.
120	PREPARE INTERIOR WALL SURFACES AND ASSOCIATED EXISTING LOUVERS TO RECEIVE NEW FINISH, CLEAN, PREP, AND PATCH/REPAIR AS REQUIRED, CONTRACTOR TO VERIFY LOUVER QUANTITY.
121	POWER WASH EXTERIOR WALL SURFACES, PREPARE EXISTING LOUVERS TO RECEIVE NEW FINISH, CLEAN, PREP, AND PATCH/REPAIR AS REQUIRED, CONTRACTOR TO VERIFY LOUVER QUANTITY.
124	EXISTING FENCE TO REMAIN, N.I.C.
125	PRESSURE WASH/CLEAN EXISTING CANOPY STRUCTURE, PATCH/REPAIR SURFACE AS REQUIRED.
128	EXISTING EXTERIOR COLUMN TO BE PRESSURE WASH/CLEANED, PATCH/REPAIR SURFACE AS REQUIRED.
130	EXISTING OVERHEAD SECTIONAL DOOR AND ALL RELATED HARDWARE TO BE REMOVED, PREPARE OPENING AS REQUIRED TO RECEIVE NEW DOOR.
132	PREPARE EXISTING DOOR AND FRAME TO RECEIVE NEW FINISH, CLEAN, PREP, AND PRIME AS REQUIRED, TYP.
135	WASH/CLEAN INTERIOR AND EXTERIOR OF EXISTING WINDOW AND FRAME ASSEMBLY, TYP.
148	PRESSURE WASH/CLEAN EXISTING STRUCTURE, PATCH/REPAIR SURFACE AS REQUIRED, TYP.
153	PREPARE EXISTING BOLLARD TO RECEIVE NEW FINISH, CLEAN, PREP, AND PATCH/REPAIR AS REQUIRED, TYP.

LEGEND

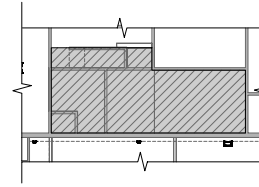
- NOT IN SCOPE
- INDICATES ELEMENTS TO BE DEMO'D, SEE KEYNOTES FOR DETAILS
- LIFT TAG
- E INDICATES EXISTING LIFTS, INDICATES LIFTS NOT IN SCOPE



1 OVERALL FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN
AD150 SCALE: 1/8" = 1'-0"



2 OVERALL MEZZANINE DEMOLITION REFLECTED CEILING PLAN
AD150 SCALE: 1/8" = 1'-0"



DEMO GENERAL NOTES

- ITEMS BELOW APPLY TO DASHED LINES AS INDICATED ON THE DEMOLITION PLAN UNLESS OTHERWISE NOTED.
- THE BUILDING AREAS ADJACENT TO THE AREA OF CONSTRUCTION WILL REMAIN OCCUPIED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION FOR THE SAFETY AND PROTECTION OF ALL PERSONS IN THE BUILDING UNDER CONSTRUCTION FOR THE DURATION OF THE PROJECT.
 - EXISTING CONDITIONS ARE BASED ON INFORMATION OBTAINED FROM EXISTING DRAWINGS AND FIELD SURVEY AND SHALL NOT BE CONSIDERED AS "AS-BUILT." THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT THAT QUESTIONABLE ENVIRONMENTAL MATERIALS ARE SUSPECTED OR IDENTIFIED BY THE CONTRACTOR, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE THE EXTENT OF MATERIAL AND THE COURSE OF ACTION.
 - ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ELEMENTS WITHIN THE AREA OF DEMOLITION THAT ARE TO BE REMOVED, SHALL BE CUT AND CAPPED AND MADE SAFE BY A SUBCONTRACTOR TRADESMAN APPROPRIATE TO THE SCOPE PRIOR TO DEMOLITION AND REMOVAL WORK OCCURRING BY THE DEMOLITION SUBCONTRACTOR.
 - ALL DASHED PARTITIONS, WALL FURRING, SURFACE APPLIED MATERIALS OR FINISHES (I.E. WALL COVERINGS, WOOD PANELING, ETC.), PIPE AND CHASE FURRING IN INTERIOR SPACES AND AT PERIMETER WALLS SHALL BE REMOVED FULL HEIGHT INCLUDING DOORS AND FRAMES, ETC. WITHIN THE PARTITIONS.
 - REQUIREMENTS OF STRUCTURAL WORK: DO NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY OF LOAD/DEFLECTION RATIO.
 - OPERATIONAL AND SAFETY LIMITATIONS: DO NOT CUT OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITY TO PERFORM IN A MANNER INTENDED OR RESULTING IN A DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
 - VISUAL REQUIREMENTS: DO NOT CUT WORK WHICH IS EXPOSED ON THE EXTERIOR OR EXPOSED IN OCCUPIED SPACES OF THE BUILDING IN A MANNER RESULTING IN A REDUCTION OF VISUAL QUALITIES OR RESULTING IN SUBSTANTIAL EVIDENCE OF THE DEMOLITION WORK JUDGED BY THE ARCHITECT TO BE OUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
 - LOADING: DO NOT SUPERIMPOSE LOADS AT ANY POINT UPON EXISTING STRUCTURE BEYOND DESIGN CAPACITY INCLUDING LOADS ATTRIBUTABLE TO MATERIALS, CONSTRUCTION EQUIPMENT, DEMOLITION OPERATIONS AND SHORING AND BRACING.
 - VIBRATION: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD INDUCE VIBRATION INTO ANY ELEMENT OF THE STRUCTURE.
 - FIRE: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE ANY FIRE HAZARD UNLESS OTHERWISE APPROVED BY CONTRACTING OFFICER.
 - WATER: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE EXCESSIVE WATER RUN-OFF, AND WATER POLLUTION.
 - AIR POLLUTION: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE UNCONTROLLED DUST, FUMES, OR OTHER DAMAGING AIR POLLUTION.

KEYNOTES LEGEND- DEMO	
MARK	DESCRIPTION
125	PRESSURE WASH/CLEAN EXISTING CANOPY STRUCTURE; PATCH/REPAIR SURFACE AS REQUIRED.
140	EXISTING LIGHT FIXTURES/ELECTRICAL EQUIPMENT AND RELATED HARDWARE TO BE REMOVED. CONTRACTOR TO VERIFY EXISTING FEATURE QUANTITY, REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
157	PREPARE CEILING BEAM TO RECEIVE NEW FINISH; CLEAN, PREP AND PATCH/REPAIR AS REQUIRED. TYP.
158	PRESSURE WASH/CLEAN EXISTING AWNING.
160	ALL UTILITIES, FIXTURES, MECHANICAL SYSTEMS OR ANY OBSTRUCTIONS WITHIN LIFT SERVICE AREAS SHALL BE RELOCATED ABOVE 15'-0" AFF.

LEGEND

- [Hatched Box] NOT IN SCOPE
- [Dashed Line] INDICATES ELEMENTS TO BE DEMO'D. SEE KEYNOTES FOR DETAILS



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5 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT SOUTH EAST ELEVATION



4 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT CANOPY



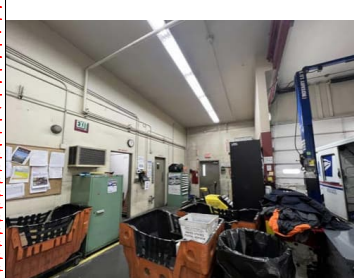
3 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT SOUTH ELEVATION



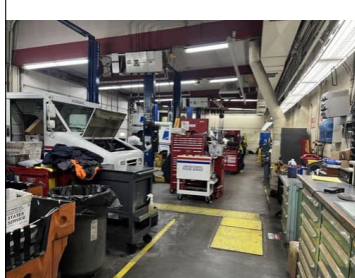
2 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT SOUTH ELEVATION



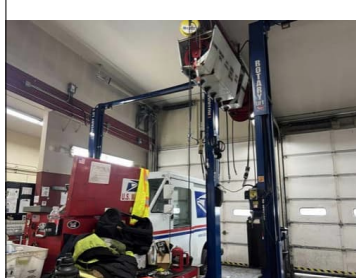
1 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT SOUTH ELEVATION



10 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



9 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



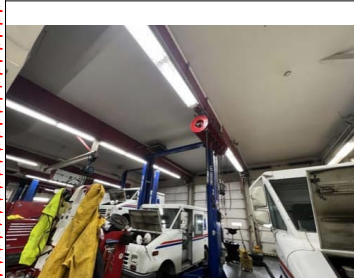
8 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



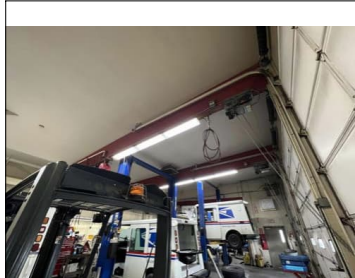
7 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT EAST ELEVATION



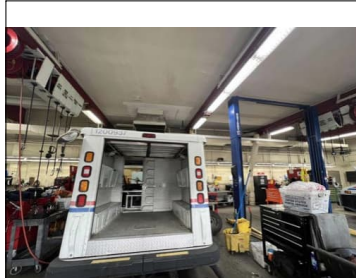
6 PHOTOGRAPH - EXTERIOR OF VMF BUILDING AT SOUTH ELEVATION



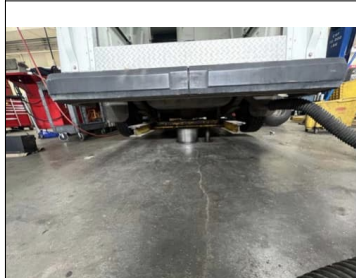
15 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



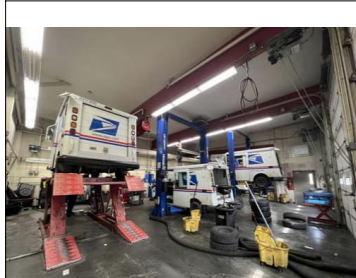
14 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



13 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT BAY 3



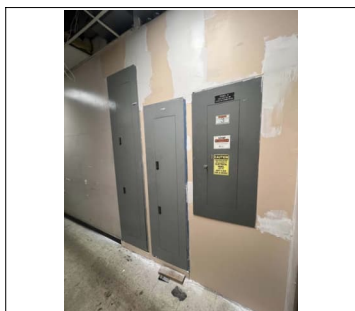
12 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT BAY 3



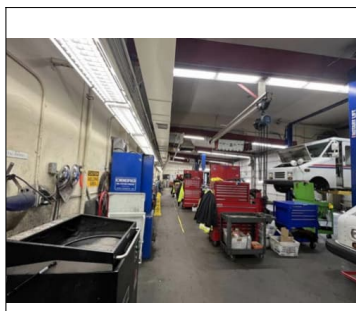
11 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



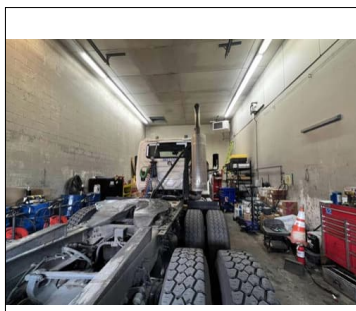
20 PHOTOGRAPH - INSIDE PANEL G



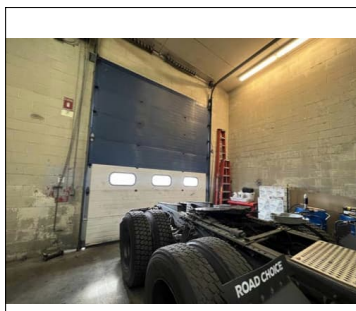
19 PHOTOGRAPH - PANEL G



18 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT SERVICE BAY



17 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT WASH BAY



16 PHOTOGRAPH - INTERIOR OF VMF BUILDING AT WASH BAY