FIRE PROTECTION

PLASTIC

FABRIC

FIBERGLASS REINFORCED PANEL

FIBERGLASS REINFORCED

PORCELAIN TILE BASE

PORCELAIN FLOOR TILE

PLASTIC LAMINATE or PLASTIC

UNFINISHED

UTILITIES

UTIL.

ARCHITECTURAL GRAPHIC SYMBOLS

ROOM NAME 101 SERVICE BAY TAG

EXTERIOR ELEVATION REFERENCE

DETAIL / CALLOUT REFERENCE

COLUMN CENTER LINE

EXISTING COLUMN CENTER LINE REFERENCE NUMBER OF DRAWING DRAWING TITLE

IEW NAME

SCALE: 1/8" = 1'-0" DRAWING SCALE SHEET NUMBER OF DRAWING

PARTITION TYPE

KEYED NOTE SYMBOL

FURNITURE, FIXTURES, EQUIPMENT

GLAZED OPENING REFERENCE

DRAWING REVISION

FLOOR MATERIAL REFERENCE

MATERIALS LEGEND

CONCRETE MASONRY UNIT

EARTH

CONCRETE

SAND

RIGID INSULATION

GRAVEL BATT INSULATION

ROUGH LUMBER

WOOD BLOCKING

BRICK

GENERAL NOTES

EXISTING DRAWINGS AND FIELD SURVEY AND SHALL NOT BE ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION

BOARD, CMU WALLS, ETC. UNLESS NOTED OTHERWISE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT AND OWNER OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.

CONTRACTOR SHALL VERIFY AND BECOME FAMILIAR W/ ALL EXISTING

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING THE BUILDING AND MAINTENANCE OF (DUST TIGHT PARTITIONS, DAILY VACUUMING, MOPPING, FLOOR MATS AND PROVISIONS OF CLEAN FLOOR MATS AT PROJECT ENTRANCES) TO PREVENT THE INFILTRATION OF DIRT AND DUST FROM THE

RESTORE OR REPLACE ALL EXISTING FINISHES DAMAGED BY WORK

CHIP, GRIND AND / OR FILL EXISTING FLOOR SLABS AS REQUIRED TO PROVIDE SMOOTH LEVEL SURFACE SUITABLE FOR APPLICATIONS OF FINISH FLOOR MATERIALS, LEVEL ALL FLOORS TO WITHIN 1/8" PER FOOT TOLERANCE MAX., INCLUDING FLOOR LEVEL DIFFERENCES THAT

11. PATCH / REPAIR FLOORS, BASES AND WALLS TO PROVIDE AN EVEN SUBSTRATE SUITABLE FOR APPLICATIONS OF SCHEDULED FINISHES

ABOVE CEILING TO ACHIEVE A SMOKE BARRIER.

14. ALL PENETRATIONS IN GYPSUM BOARD PARTITIONS SHALL BE SEALED WITH ACOUSTICAL SEALANT OR FIRE RATED ASSEMBLIES WHERE

 ALL NEW OPENINGS THROUGH EXISTING MASONRY WALL/PARTITIONS SHALL BE REINFORCED WITH STEEL ANGLES AS REQUIRED. VERIFY

16. PROVIDE DOGLEG OFFSET IN PARTITIONS WHERE EXISTING AND / OR NEW EQUIPMENT, DUCTWORK, PIPES, ETC OCCUR TO PERMIT

17. PIPE AND COLUMN FURRING SHALL BE HELD AS CLOSE TO THE PIPING

18. UNLESS OTHERWISE NOTED, ALL PARTITIONS, DOORS AND DOOR FRAMES IN SCHEDULED ROOMS SHALL BE CLEANED, PRIMED AND

REMOVE AND REINSTALL EXISTING DOOR HARDWARE PRIOR TO

GYPSUM BOARD SURFACES, CONCRETE, CONCRETE MASONRY UNITS, STEEL, ETC. - UNLESS OTHER FINISHES ARE SCHEDULED.

20. WITHIN THE PROJECT LIMITS, PAINT ALL EXPOSED NEW AND EXISTING PIPING, CONDUIT, WIREMOLD, ELECTRICAL PANELS, DUCTWORK, EQUIPMENT ACCESS PANELS, HANGER SUPPORTS, UNISTRUT ETC -TO MATCH WALL FINISHES, UNLESS OTHERWISE NOTED.

DRAWINGS TO DETERMINE QUANTITIES OF DIFFUSERS, GRILLES, LIGHT FIXTURES, SPRINKLER HEADS, ETC. THE LOCATIONS OF CEILING MOUNTED DIFFUSERS, GRILLES, SPRINKLER HEADS, FIXTURES, ETC NOT SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS MUST BE VERIFIED WITH THE ARCHITECT/ENGINEER PRIOR TO THE

PARTITIONS AND PROVIDE REQUIRED OPENINGS. SUCH OPENINGS SHALL BE FRAMED WITH STUD TRACK AND METAL TRIM. CAULK PERIMETER AFTER INSULATION OF DUCT WORK ON BOTH SIDES OR PARTITION. PROVIDE FIRE RATED SEALANT AT ALL RATED PARTITIONS ON BOTH SIDES.

24. ALL FIXTURES & MECHANICAL SYSTEMS WITHING EXISTING SERVICE AREAS WITH LIFTS AT OR BELOW 15' - 3" A.F.F. SHALL BE RELOCATED

EXISTING CONDITIONS ARE BASED ON INFORMATION OBTAINED FROM CONSTRUED AS "AS-BUILT." THE CONTRACTOR SHALL FIELD VERIFY

ALL DIMENSIONS ARE FINISHED DIMENSIONS TO FACE OF GYP.

CONDITIONS.

CONSTRUCTION AREAS INTO THE OWNER OCCUPIED AREA.

PATCH ALL FINISHES DISTURBED BY THE WORK AND WHERE UNFINISHED SURFACES HAVE BEEN EXPOSED BY DEMOLITION. PATCHING MUST MATCH ADJACENT MATERIALS, COLORS AND

FILL ALL DEPRESSED AREAS AND HOLES IN EXISTING CONCRETE

10. PATCH / REPAIR FLOOR SUBSTRATE WHERE PARTITIONS, FLOOR OR

12. PATCH / REPAIR ALL GAPS, HOLES, ETC. IN ALL CORRIDOR WALLS,

13. PLUG HOLES THROUGH FLOOR SLABS WHERE PIPES OR DUCTS HAVE BEEN REMOVED WITH FIRE RATED NON-SHRINKING GROUT, FINISH FLUSH WITH EXISTING FLOOR SLAB AND TROWEL SMOOTH. SEE MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR REMOVAL OF EXISTING PIPES, CONDUITS AND DUCTS

REQUIRED BY THE DRAWINGS ON BOTH SIDES OF PARTITIONS.

CONSTRUCTION OF A CONTINUOUS PARTITION TO STRUCTURE

AND / OR COLUMNS AS POSSIBLE, UNLESS OTHERWISE NOTED. VERIFY CONDITIONS WITH ARCHITECT.

PAINTED. INCL. GRILLS, LOUVERS AND VENTS. PROTECT AND/OR

22. SEE MECHANICAL DRAWINGS FOR DUCT PENETRATIONS THRU

23. ALL PENETRATIONS TO BE 2-HR FIRE-RATED PER USPS MPF SPECIFICATION, SECTION 3.6.

25. CONTRACTOR TO VERIFY INSTALLATION SEQUENCE/PREPARE SITE FOR INSTALLATION OF OWNER INSTALLED LIFT PRIOR TO INSTALLATION OF FLOORING.

SHEET INDEX SHEET NUMBER SHEET NAME **GENERAL** G001 COVER SHEET GENERAL INFORMATION LIFE SAFETY PLAN CIVIL **GENERAL NOTES EXISTING CONDITIONS AND DEMOLITION PLAN** PROPOSED CONDITIONS DELAILS ARCHITECTURAL SCHEDULES OVERALL FIRST FLOOR & MEZZANINE DEMOLITION PLAN OVERALL FIRST FLOOR & MEZZANINE DEMOLITION REFLECTED

CEILING PLAN OVERALL PROPOSED FIRST FLOOR & MEZZ. FLOOR PLAN OVERALL PROPOSED FIRST FLOOR & MEZZ. FLOOR PLAN **EXTERIOR ELEVATIONS** A200 A500 DETAILS

ELECTRICAL ELECTRICAL GENERAL INFORMATION ELECTRICAL SITE PLAN ELECTRICAL DEMOLITION PLAN **ELECTRICAL POWER & LIGHTING PLANS** E400 ELECTRICAL ONE-LINE DIAGRAM ELECTRICAL SCHEDULES

ELECTRICAL DETAILS

ELECTRICAL DETAILS

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FINISHES.

UNDER THIS CONTRACT.

OCCUR BETWEEN PARTITIONS SHOWN TO BE REMOVED.

SLABS WITH FIRE RATED NON-SHRINKING CEMENTITIOUS FILL.

FINISHES HAVE BEEN REMOVED.

AND AS REQUIRED BY FINISH MATERIAL MANUFACTURER.

LINTEL SIZE WITH ARCHITECT AND / OR STRUCTURAL ENGINEER.

WITHIN THE PROJECT LIMITS/AREA OF WORK, PAINT ALL PLASTER,

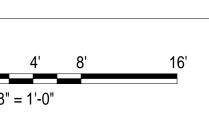
21. SEE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION

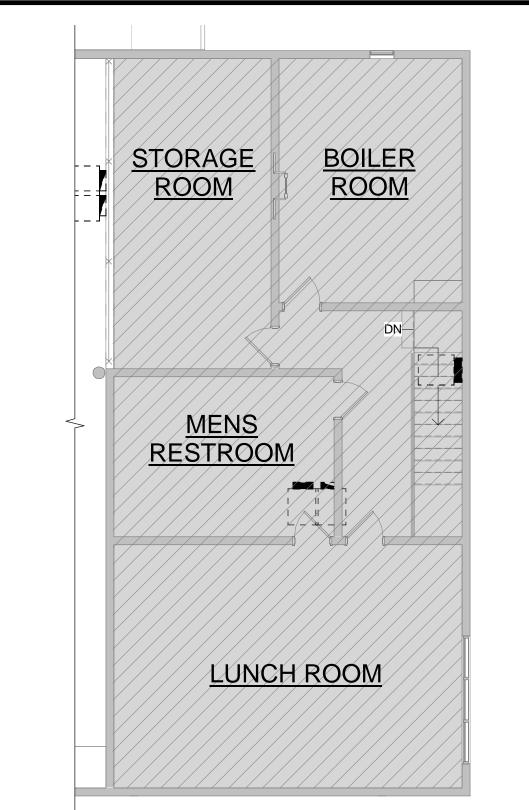
INSTALLATION. NOTIFY ARCHITECT OF ANY CONFLICTS.

ABOVE 15' - 3" A.F.F.

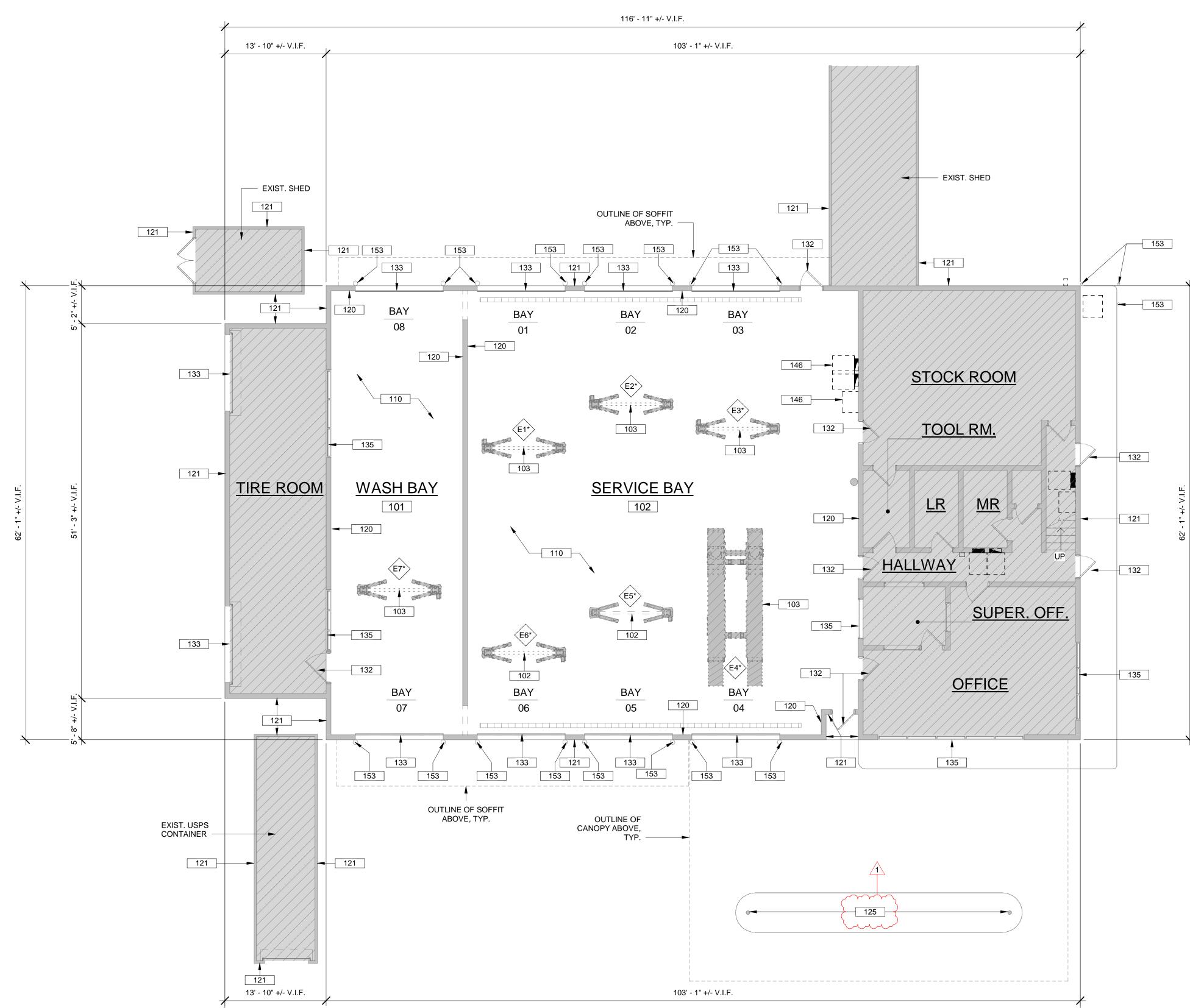
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2 OVERALL MEZZANINE DEMOLITION PLAN



116' - 11" +/- V.I.F.

AD100 SCALE: 1/8" = 1'-0"

DEMO GENERAL NOTES

ITEMS BELOW APPLY TO DASHED LINES AS INDICATED ON THE DEMOLITION PLAN UNLESS OTHERWISE NOTED.

- 1. THE BUILDING AREAS ADJACENT TO THE AREA OF CONSTRUCTION WILL REMAIN OCCUPIED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION FOR THE SAFETY AND PROTECTION OF ALL PERSONS IN THE BUILDING UNDER CONSTRUCTION FOR THE DURATION OF THE PROJECT.
- 2. EXISTING CONDITIONS ARE BASED ON INFORMATION OBTAINED FROM EXISTING \$\infty\$ DRAWINGS AND FIELD SURVEY AND SHALL NOT BE CONSTRUED AS "AS-BUILT." THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- IN THE EVENT THAT QUESTIONABLE ENVIRONMENTAL MATERIALS ARE SUSPECTED OR IDENTIFIED BY THE CONTRACTOR, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE THE EXTENT OF MATERIAL AND THE COURSE OF ACTION.
- 4. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ELEMENTS WITHIN THE AREA OF DEMOLITION THAT ARE TO BE REMOVED, SHALL BE CUT AND CAPPED AND MADE SAFE BY A SUBCONTRACTOR TRADESMEN APPROPRIATE TO THE SCOPE PRIOR TO DEMOLITION AND REMOVAL WORK OCCURRING BY THE DEMOLITION SUBCONTRACTOR.
- ALL DASHED PARTITIONS, WALL FURRING, SURFACE APPLIED MATERIALS OR FINISHES (I.E. WALL COVERINGS, WOOD PANELING, ETC.) PIPE AND CHASE FURRING IN INTERIOR SPACES AND AT PERIMETER WALLS SHALL BE REMOVED FULL HEIGHT INCLUDING DOORS AND FRAMES, ETC. WITHIN THE PARTITIONS
- REMOVE ALL FLOOR AND BASE MATERIALS AND MASTIC. PREPARE FLOOR AND WALL SURFACES TO RECEIVE NEW FLOOR AND BASE FINISH MATERIALS.
- 7. EXCEPT AS NOTED, REMOVE ALL CEILING SYSTEMS, INCLUDING, BUT NOT LIMITED TO:
- A. ACOUSTICAL CEILING AND GRID SYSTEMS (SUSPENDED OR OTHERWISE), INCLUDING ALL SUPPORTING / SUSPENSION SYSTEMS. B. SUSPENDED GYPSUM AND / OR PLASTER CEILING, INCLUDING ALL SUPPORTING / SUSPENSION SYSTEMS.
- CEILING SYSTEMS ABOVE FINISHED / EXPOSED CEILING. D. GYPSUM BOARD AND / OR PLASTER SOFFITS, CEILING RETURNS AND / OR DRAPERY POCKETS, ETC.
- REMOVE ALL CASEWORK, EQUIPMENT, & MISCELLANEOUS ITEMS, INCLUDING BUT NOT LIMITED TO: A. SHELVING BRACKETS, STANDARDS, CABINETS, COUNTERTOPS, UNISTRUT SUPPORTS, AND WALL ATTACHMENTS, ETC, UNLESS NOTED
- OTHERWISE. OWNER HAS FIRST RIGHT OF SALVAGE TO ANY MATERIALS OR EQUIPMENT REMOVED UNDER THIS CONTRACT. OWNER WILL NOTIFY CONTRACTOR AS TO WHERE DESIGNED AREA IS AVAILABLE FOR STORAGE OF SALVAGED ITEMS.
- 10. REQUIREMENTS OF STRUCTURAL WORK: DO NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY OF LOAD/DEFLECTION RATIO.
- 11. OPERATIONAL AND SAFETY LIMITATIONS: DO NOT CUT OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN A MANNER INTENDED OR RESULTING IN A DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE OR DECREASED SAFETY.
- 12. VISUAL REQUIREMENTS: DO NOT CUT WORK WHICH IS EXPOSED ON THE EXTERIOR OR EXPOSED IN OCCUPIED SPACES OF THE BUILDING IN A MANNER RESULTING IN A REDUCTION OF VISUAL QUALITIES OR RESULTING IN SUBSTANTIAL EVIDENCE OF THE DEMOLITION WORK JUDGED BY THE ARCHITECT TO BE CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
- 13. LOADING: DO NOT SUPERIMPOSE LOADS AT ANY POINT UPON EXISTING STRUCTURE BEYOND DESIGN CAPACITY INCLUDING LOADS ATTRIBUTABLE TO MATERIALS, CONSTRUCTION EQUIPMENT, DEMOLITION OPERATIONS AND SHORING AND BRACING.
- 14. VIBRATION: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES

WHICH WOULD INDUCE VIBRATION INTO ANY ELEMENT OF THE STRUCTURE.

- 15. FIRE: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE ANY FIRE HAZARD UNLESS OTHERWISE APPROVED BY CONTRACTING OFFICER.
- 16. WATER: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE EXCESSIVE WATER RUN-OFF, AND WATER POLLUTION.
- 17. AIR POLLUTION: DO NOT USE MEANS, METHODS, TECHNIQUES, OR PROCEDURES WHICH WOULD PRODUCE UNCONTROLLED DUST, FUMES, OR OTHER DAMAGING AIR POLLUTION.

KEYNOTES LEGEND - DEMO

DESCRIPTION 102 EXISTING LIFT TO REMAIN. NOT IN CONTRACT (N.I.C.) 103 EXISTING LIFT TO BE REPLACED/INSTALLED BY OTHERS (N.I.C.). PATCH AND REPAIR FLOOR AS REQUIRED. CONTRACTOR TO VERIFY SEQUENCE OF CONSTRUCTION.

110 EXISTING FLOOR FINISH TO BE REMOVED; CLEAN AND PREP EXISTING CONCRETE SUBSTRATE FOR NEW FLOOR FINISH. PATCH AND REPAIR SURFACE AS REQUIRED. PRESSURE | WASH/CLEAN EXISTING TRENCH DRAINS AND COVER PLATES AS REQUIRED. PREPARE EXISTING STRIPED CIRCLUATION AREAS TO RECEIVE NEW FINISH.

120 PREPARE INTERIOR WALL SURFACES AND ASSOCIATED EXISTING LOUVERS TO RECEIVE NEW FINISH; CLEAN, PREP, AND PATCH/REPAIR AS REQUIRED; CONTRACTOR TO VERIFY LOUVER 121 POWER WASH EXTERIOR WALL SURFACES; PREPARE EXISTING LOUVERS TO RECEIVE NEW

|FINISH; CLEAN, PREP, AND PATCH/REPAIR AS REQUIRED; CONTRACTOR TO VERIFY QUANTITY 125 PRESSURE WASH/CLEAN EXISTING CANOPY STRUCTURE; PATCH/REPAIR SURFACE AS

132 PREPARE EXISTING DOOR AND FRAME TO RECEIVE NEW FINISH; CLEAN, PREP, AND PRIME AS

REQUIRED; TYP. 133 WASH/CLEAN INTERIOR AND EXTERIOR OF EXISTING OVERHEAD SECTIONAL DOOR AND FRAME ASSEMBLY; TYP.

135 WASH/CLEAN INTERIOR AND EXTERIOR OF EXISTING WINDOW AND FRAME ASSEMBLY; TYP. 146 EXISTING ELECTRICAL EQUIPMENT; REFER TO ELECTRICAL DRAWINGS FOR SCOPE.

153 PREPARE EXISTING BOLLARD TO RECEIVE NEW FINISH; CLEAN, PREP, AND PATCH/REPAIR AS REQUIRED; TYP.

LEGEND

NOT IN SCOPE

- INDICATES ELEMENTS TO BE DEMO'D. SEE KEYNOTES FOR DETAILS



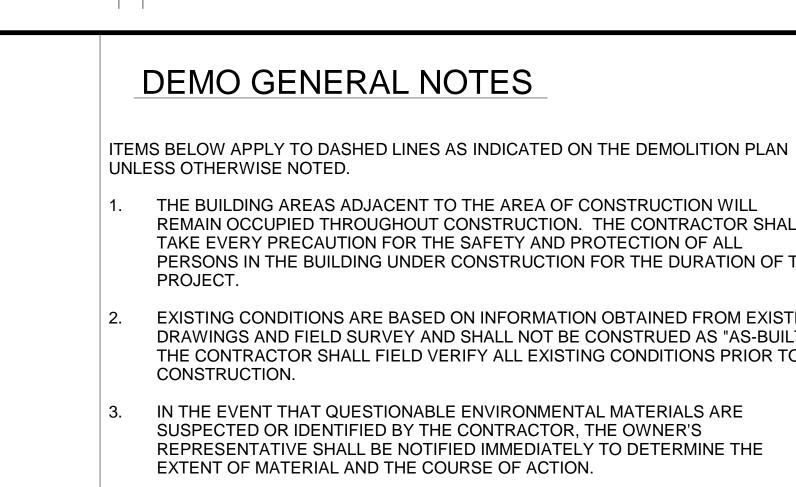
E# INDICATES EXISTING LIFTS #* INDICATES LIFTS NOT IN SCOPE



1/8" = 1'-0"

SUBMIT

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KEYNOTES LEGEND - DEMO

DESCRIPTION 125 PRESSURE WASH/CLEAN EXISTING CANOPY STRUCTURE; PATCH/REPAIR SURFACE AS 129 PRESSURE WASH/CLEAN OVERHANG; PREPARE EXISTING SOFFIT TO RECEIVE NEW FINISH;

DRAWINGS FOR ADDITIONAL INFORMATION.

PAŢCH/RĘPAIR SURFACE AS REQUIRĘD. 140 EXISTING LIGHT FIXTURES/ELECTRICAL EQUIPMENT AND ALL RELATED HARDWARE TO BE REMOVED. CONTRACTOR TO VERIFY EXISTING FIXTURE QUANTITY. REFER TO ELECTRICAL

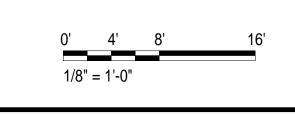
160 ALL UTILITIES, FIXTURES, MECHANICAL SYSTEMS OR ANY OBSTRUCTIONS WITHIN LIFT SERVICE AREAS SHALL BE RELOCATED ABOVE 15' - 3" A.F.F.

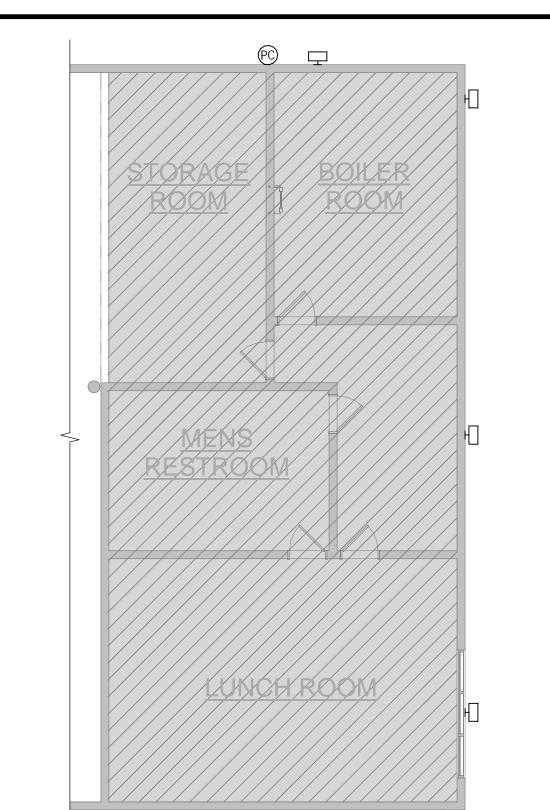
LEGEND

NOT IN SCOPE

INDICATES ELEMENTS TO BE DEMOLISHED. SEE KEYNOTES FOR DETAILS

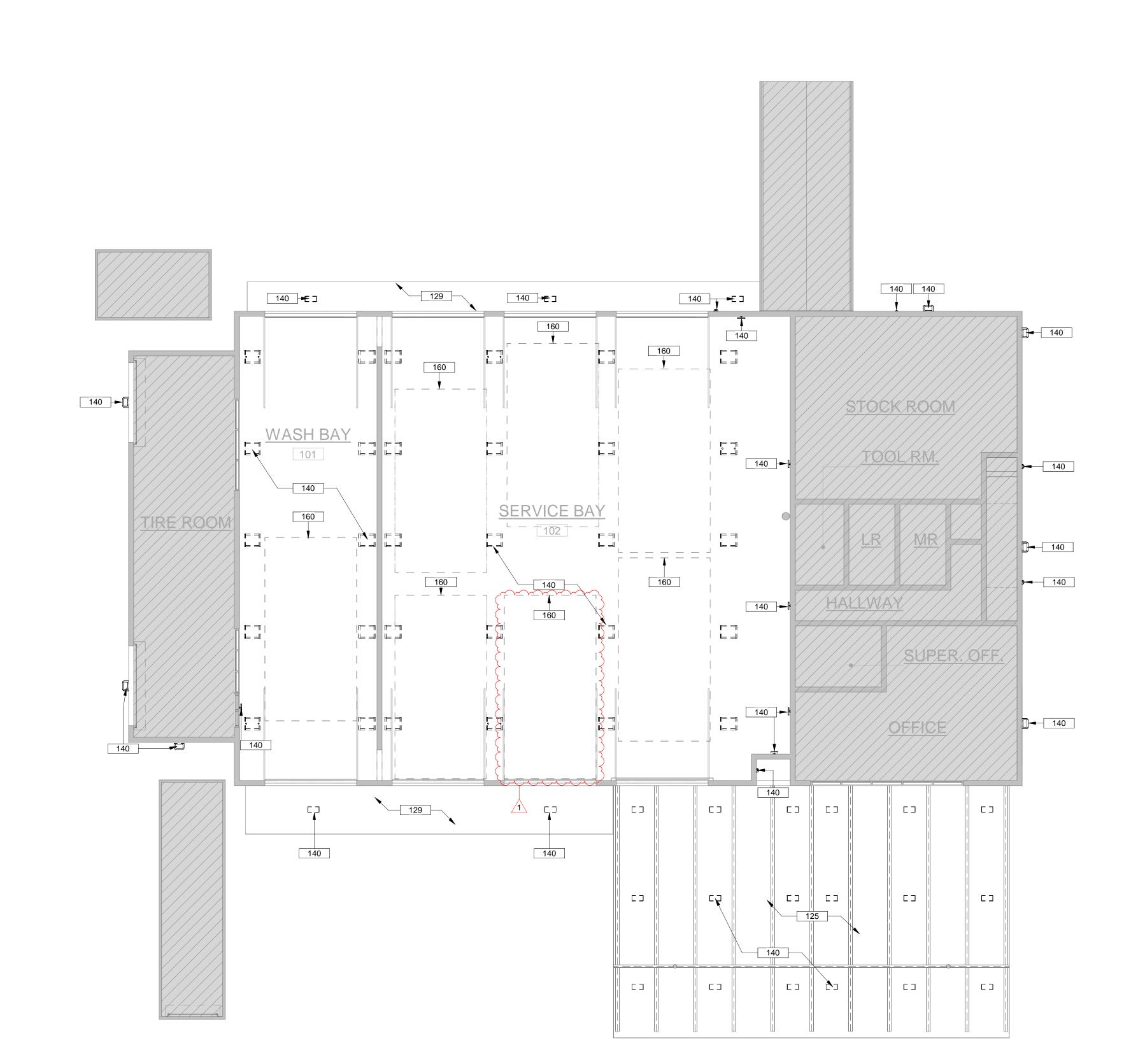






2 OVERALL MEZZANINE DEMOLITION REFLECTED CEILING PLAN

AD150 SCALE: 1/8" = 1'-0"



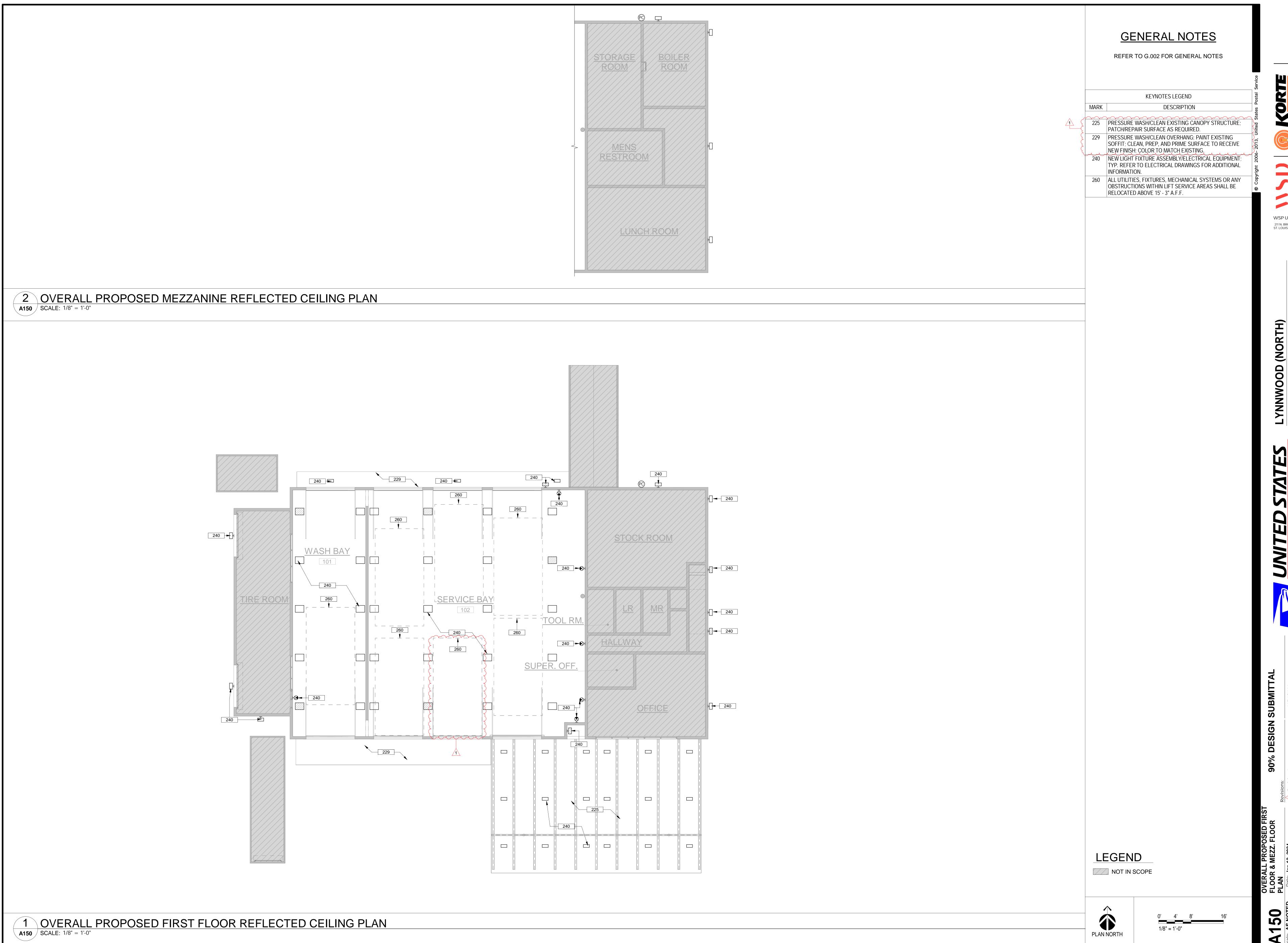
OVERALL FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN



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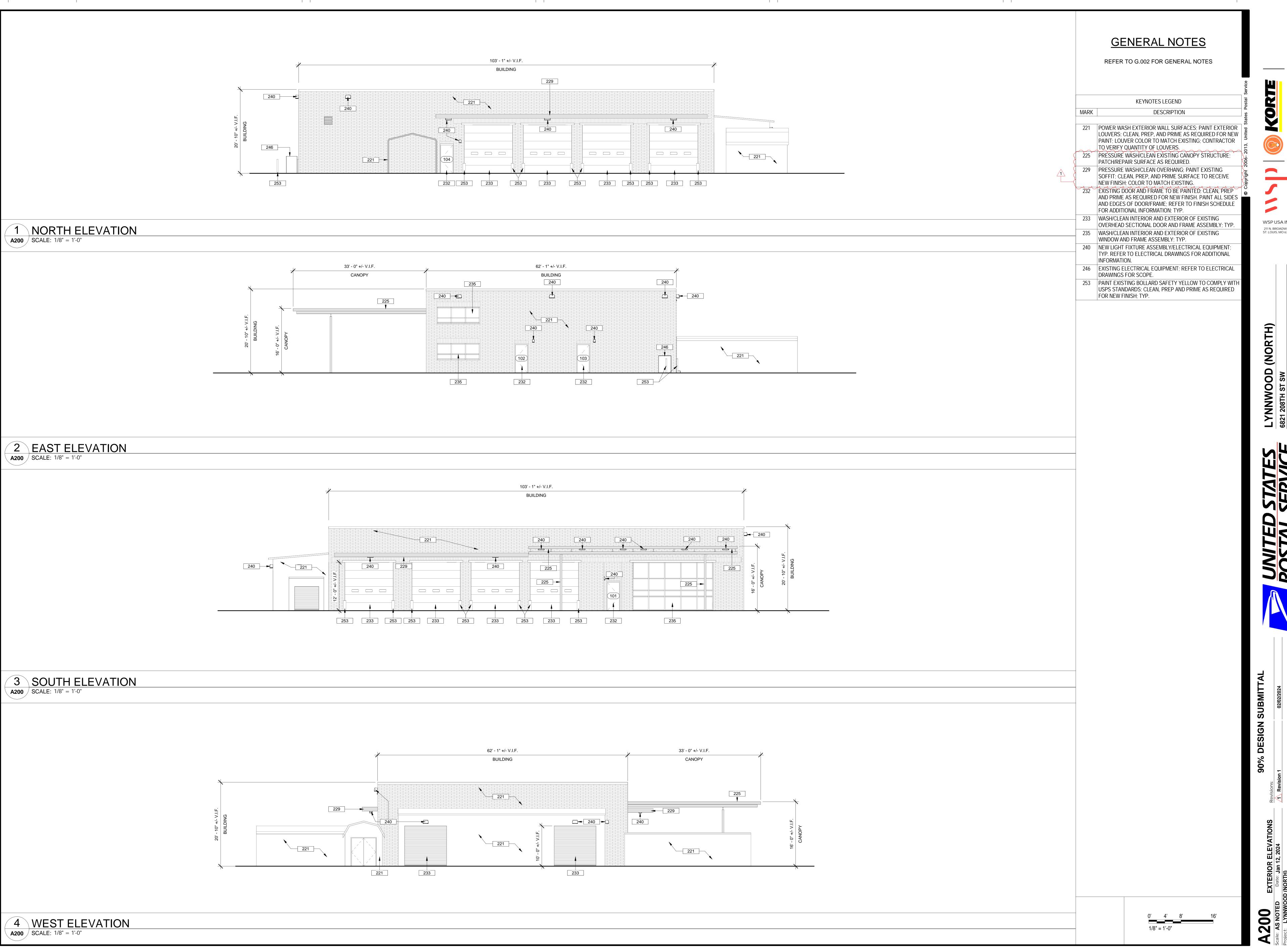
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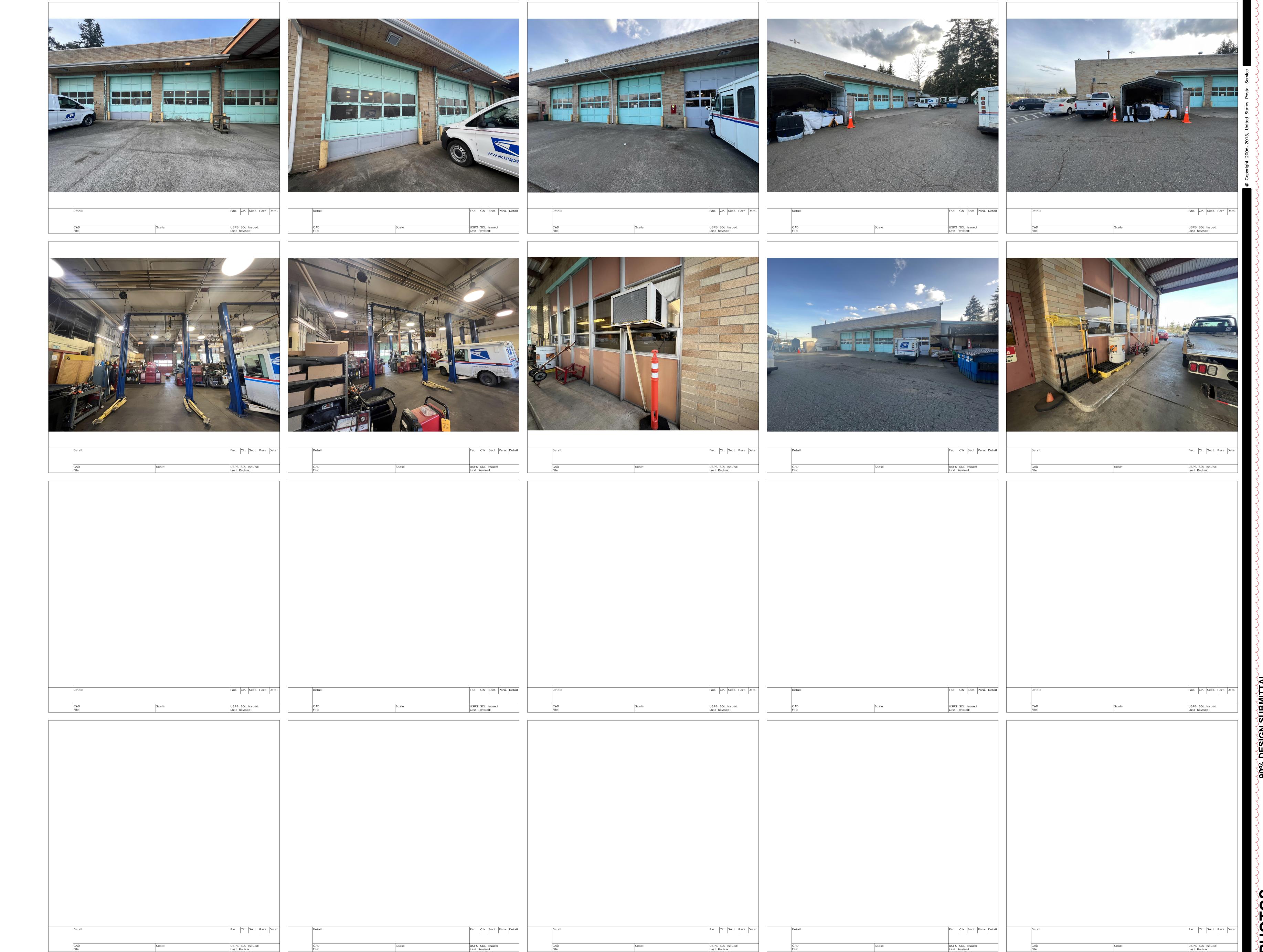


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